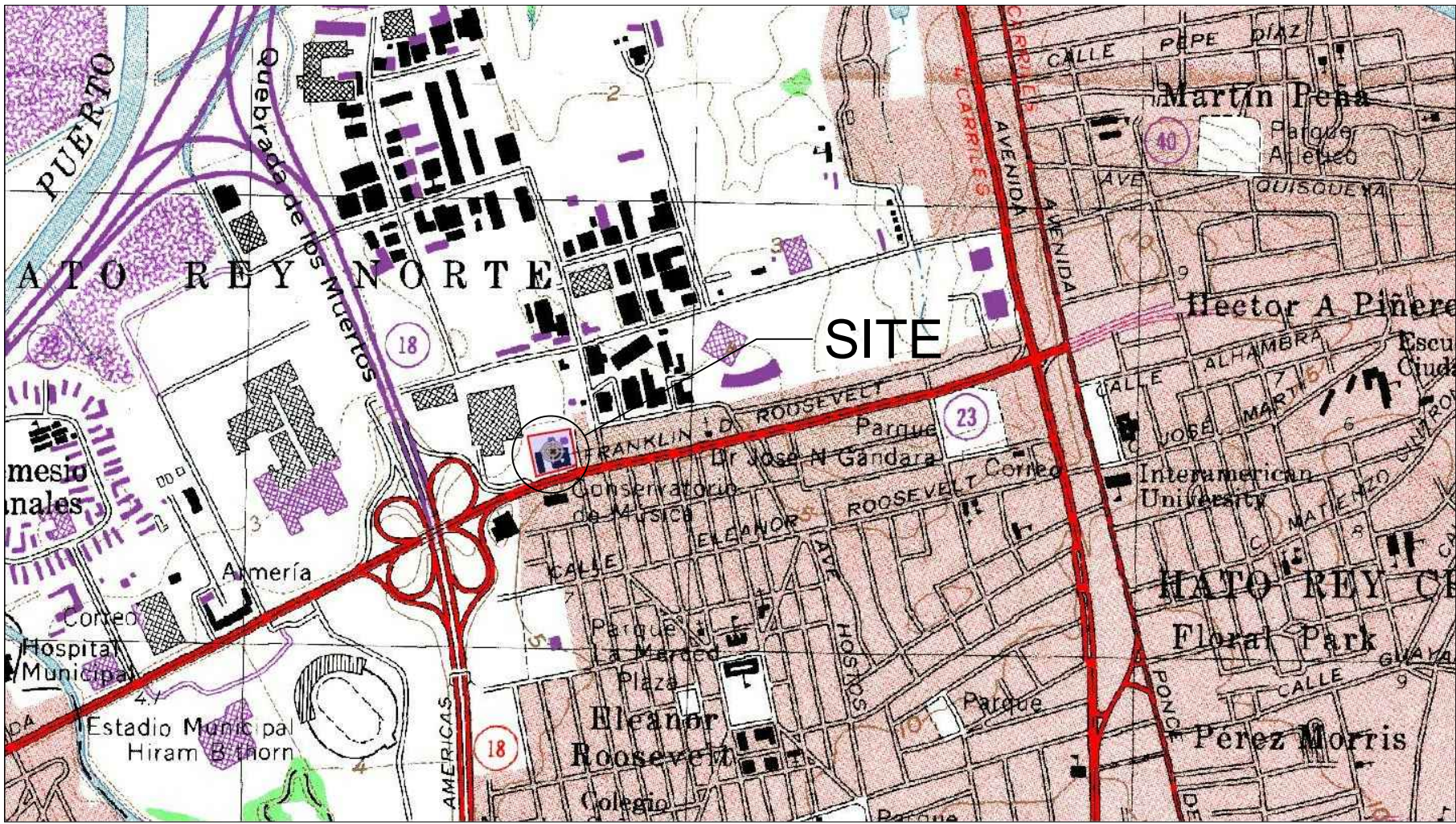
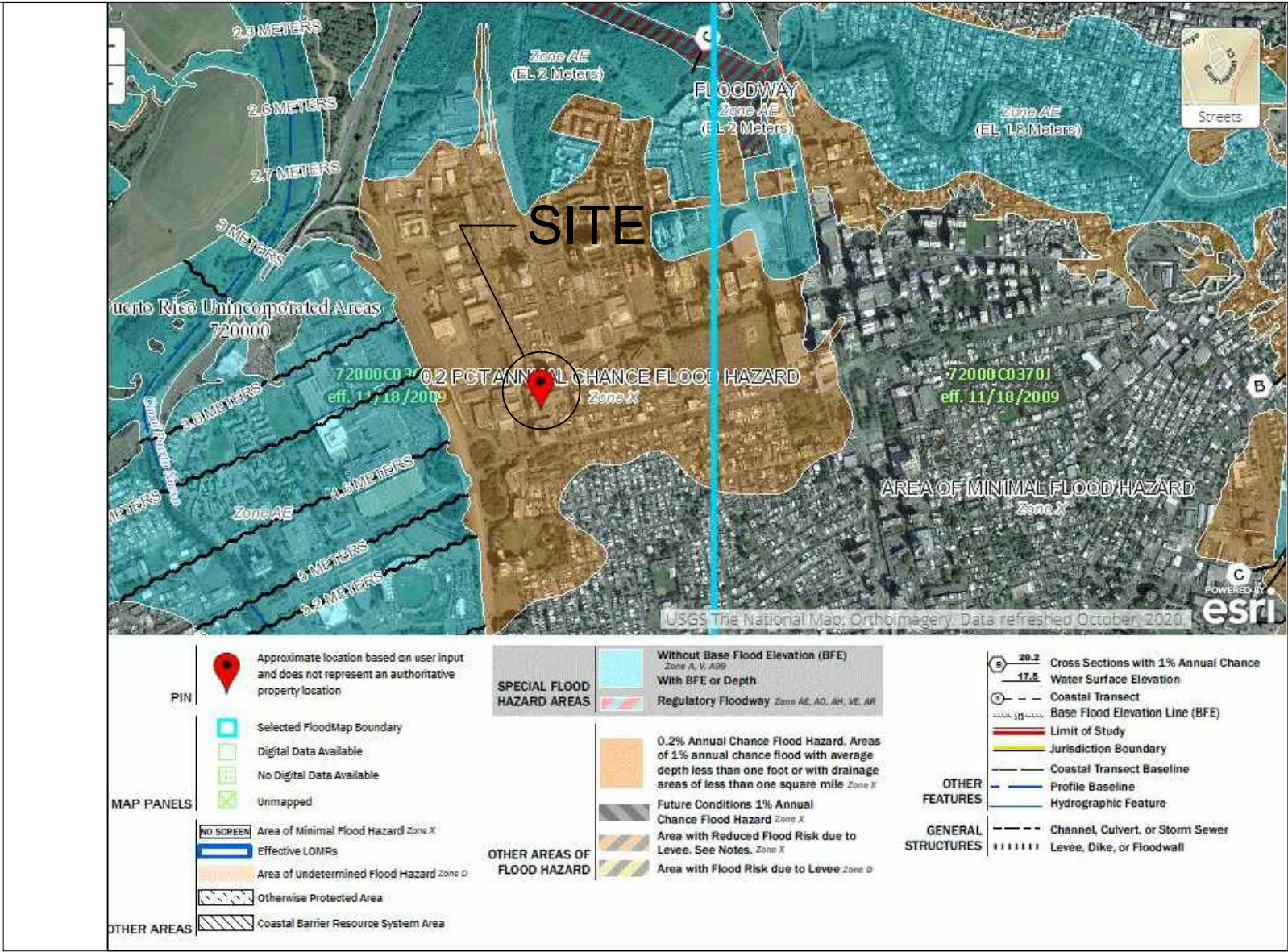




ZONING MAP  
N.T.S



LOCATION MAP  
N.T.S



FLOOD MAP  
N.T.S

PROJECT: ATRIUM REPAIR, REMEDIATION, AND/OR REHABILITATION 2021-002

MARCH 19, 2021

"ATRIUM REPAIR, REMEDIATION, AND/OR REHABILITATION"  
355 AVENUE FRANKLIN DELANO ROOSEVELT,  
SAN JUAN, P.R. 00918



INFO: CONTACT: IVÁN E. LÓPEZ BÁEZ  
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EMAIL: IEL@CESGROUPPSC.COM  
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OFFICE: URB. MUÑOZ RIVERA  
CRISALIDA ST. M-25 LOCAL 4  
GUAYNABO, PR 00969



# INDEX OF DRAWINGS


T-1	TITLE PAGE
I-1	INDEX OF DRAWINGS

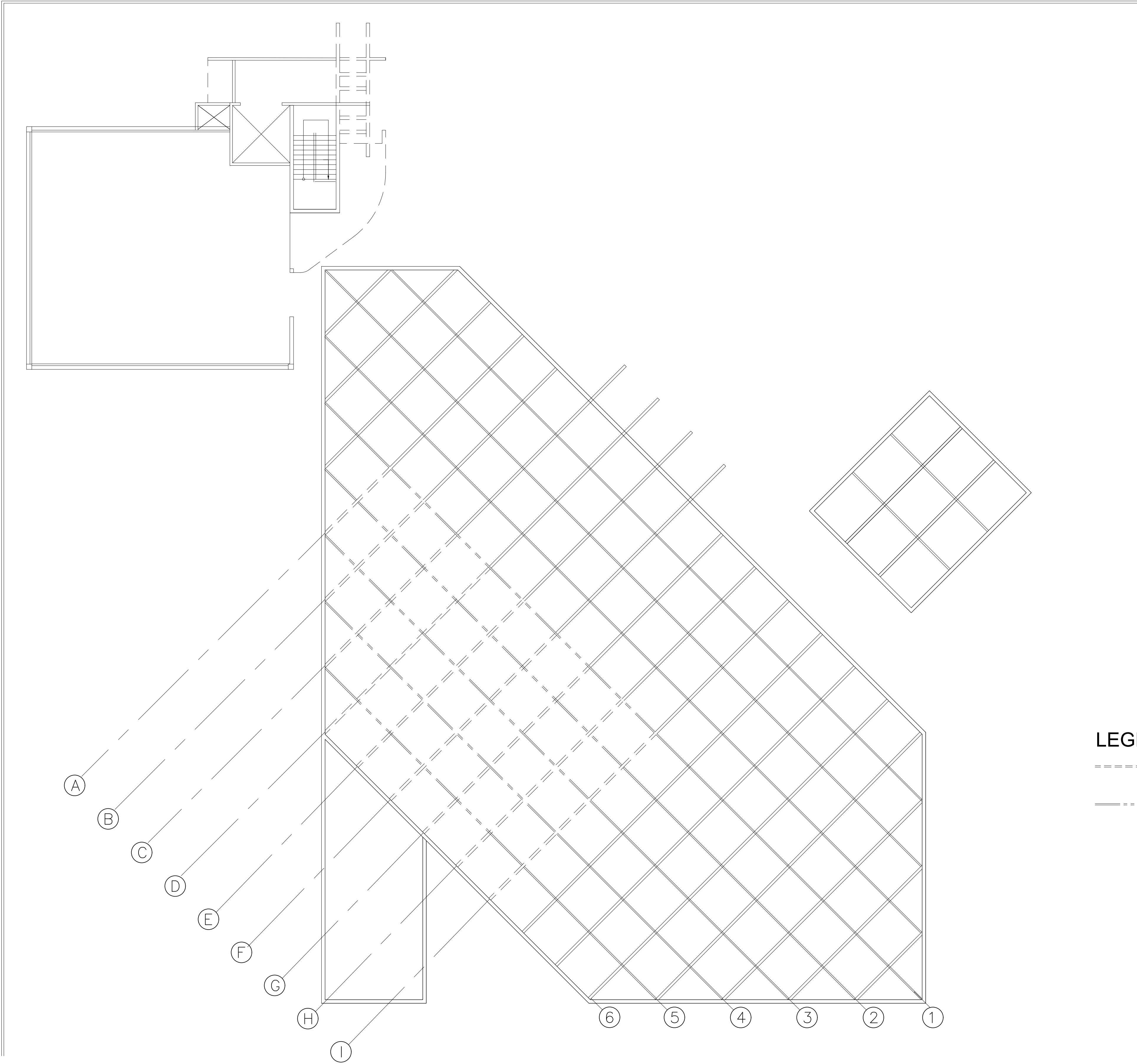
## AS-BUILT

AS-1	PRIDCO ROOF PLAN
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## CONDITION ASSESSMENT

CA-1	CONDITION ASSESSMENT ROOF PLAN TRUSS TOP
CA-2	CONDITION ASSESSMENT ROOF PLAN TRUSS BOTTOM
CA-3	CONDITION ASSESSMENT ROOF PLAN TRUSS TOP
CA-4	CONDITION ASSESSMENT ROOF PLAN TRUSS BOTTOM
CA-5	CONDITION ASSESSMENT ROOF PLAN CONNECTION TOP
CA-6	CONDITION ASSESSMENT ROOF PLAN CONNECTION BOTTOM
CA-7	CONDITION ASSESSMENT ROOF PLAN JOIST WEB MEMBERS

	CLIENT:  PRIDCO	PROJECT:  PHASE II - ATRIUM REPAIR, REMEDIATION AND/OR REHABILITATION OF PRIDCO MAIN OFFICE BUILDING SAN JUAN, PUERTO RICO	DESCRIPTION:  INDEX OF DRAWINGS	PROJECT NO.:  2021-002	THIS DRAWING OR PRINT DESPICT THE DESIGN EFFORT OF CARRASQUILLO ASSOCIATES ISSUED FOR REVIEW SOLELY AS AN INSTRUMENT OF THE SERVICE BEING RENDERED. IT REMAINS THE PROPERTY OF THIS OFFICE, SHALL BE USED ONLY BY AUTHORIZED PERSON, AND SHALL NOT BE COPIED OR REPRODUCED OR EXHIBIT UNLESS IN WRITING IS GRANTED. IT SHOULD BE RETURNED UPON REQUEST.			I-1
				ISSUE:  03-19-2021				

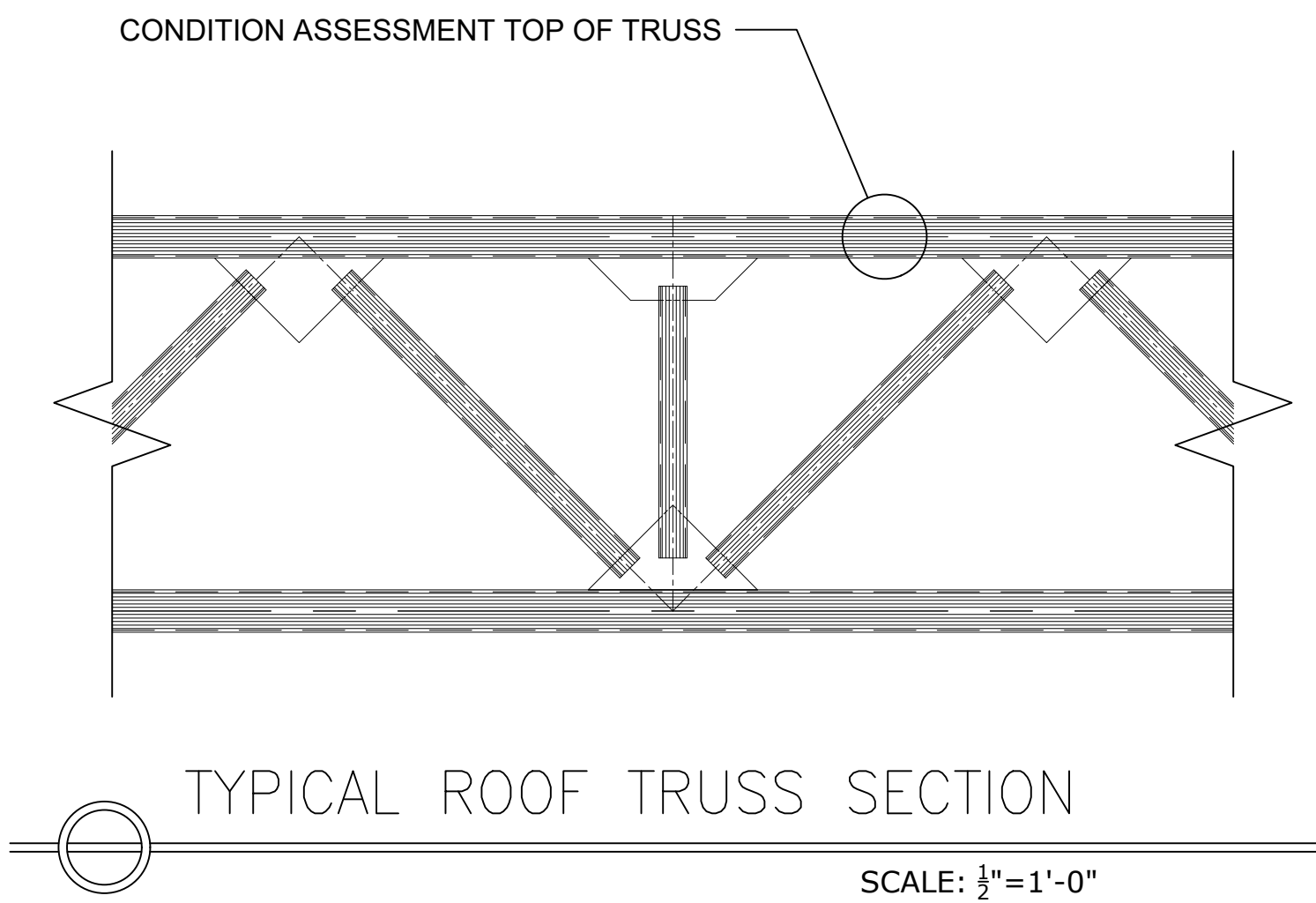


PRIDCO ROOF PLAN

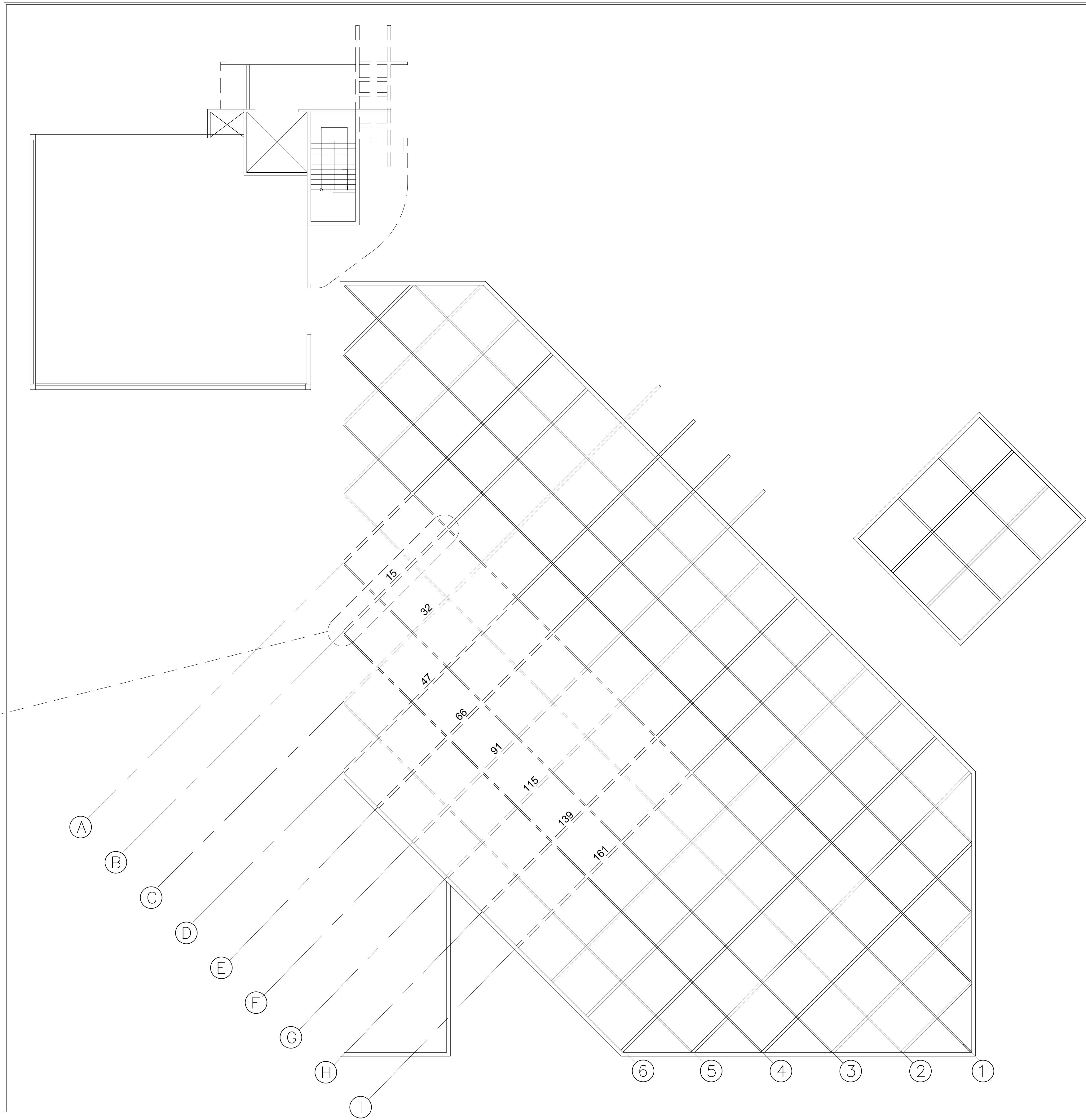
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				ISSUE:  03-19-2021				





TYPICAL EXAMPLE OF FINDING ON TOP OF TRUSS.



**LEGEND:**

----- PRIMARY BEAMS

----- SECONDARY BEAMS

**NOTE:**

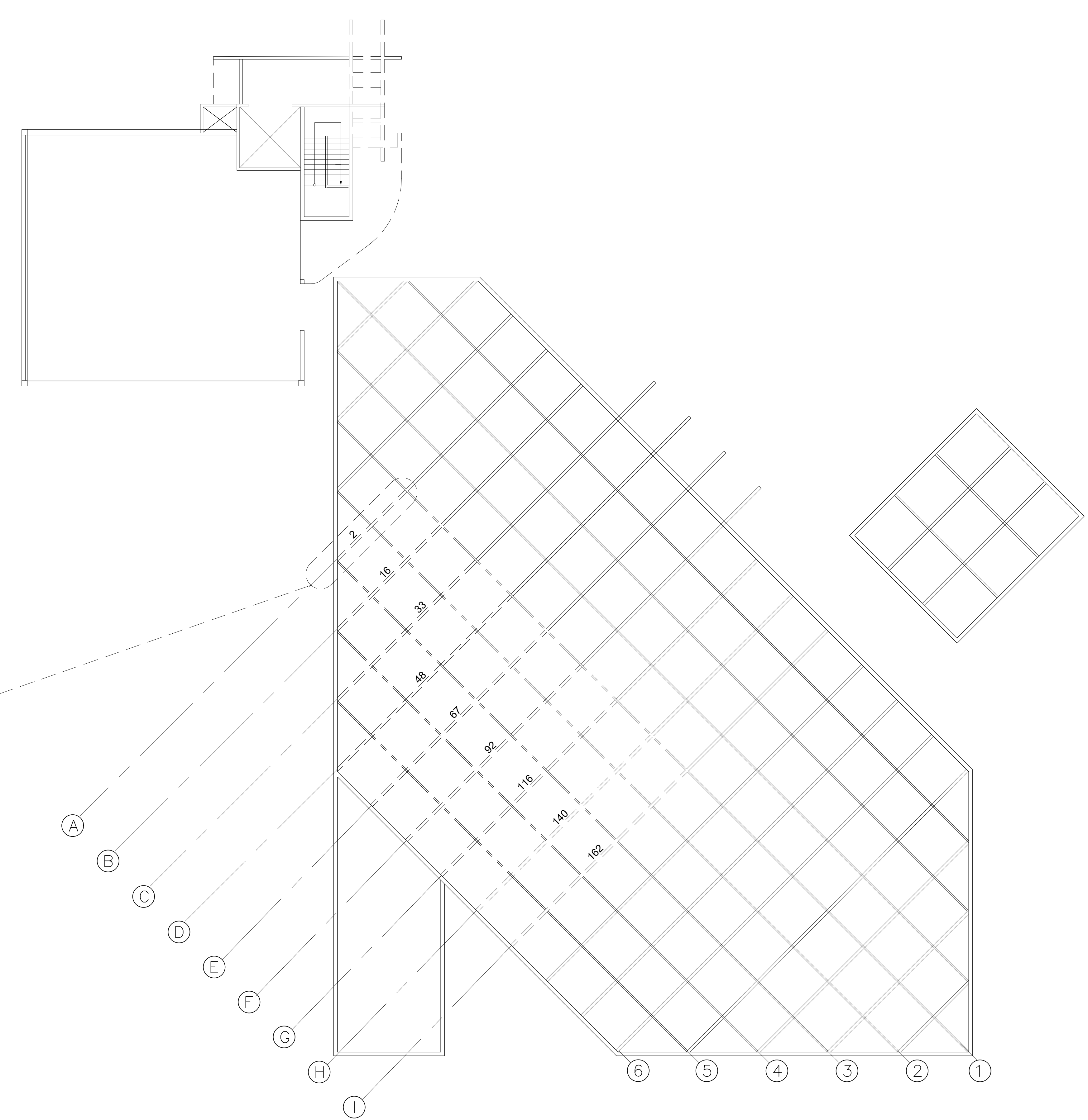
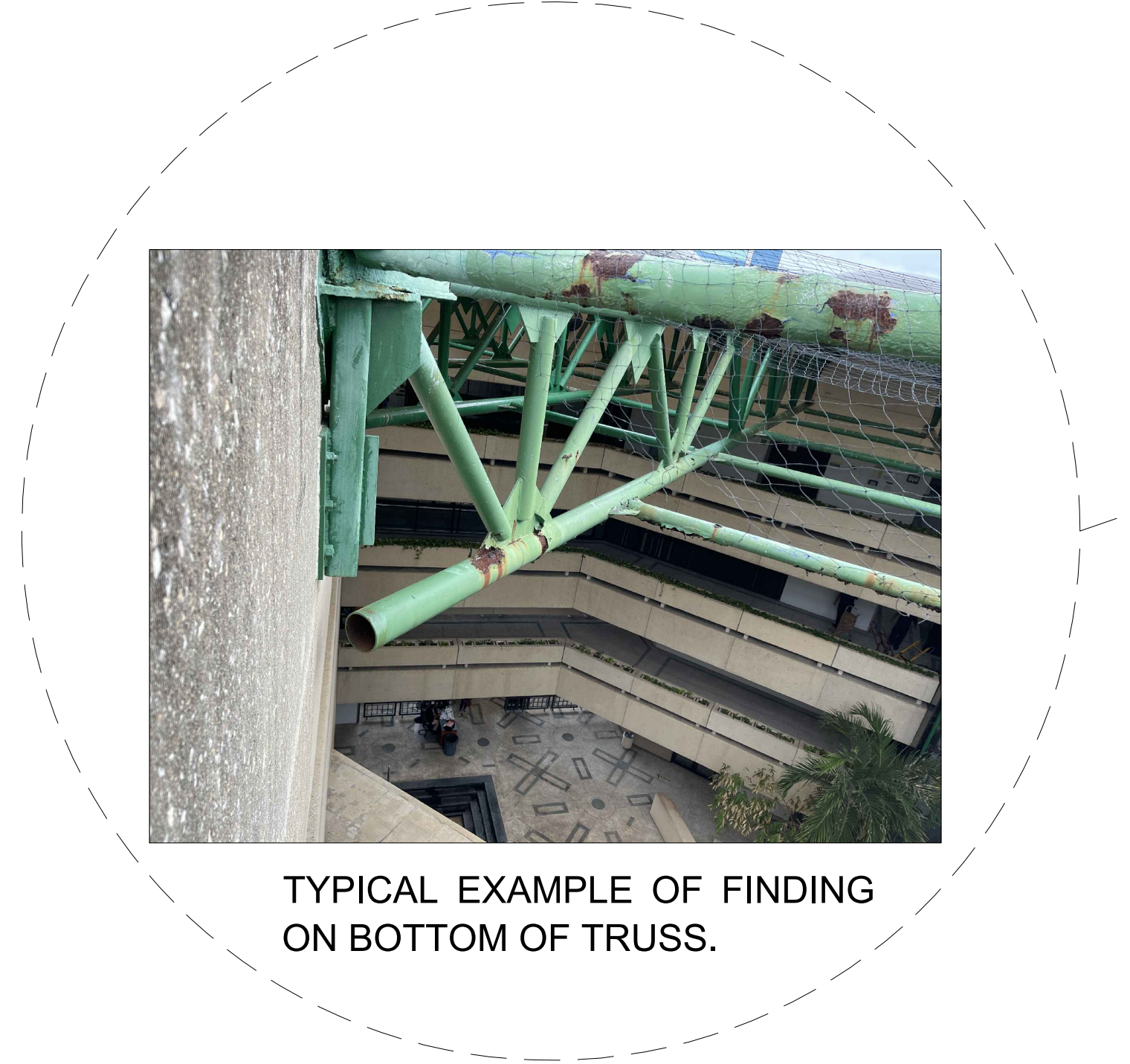
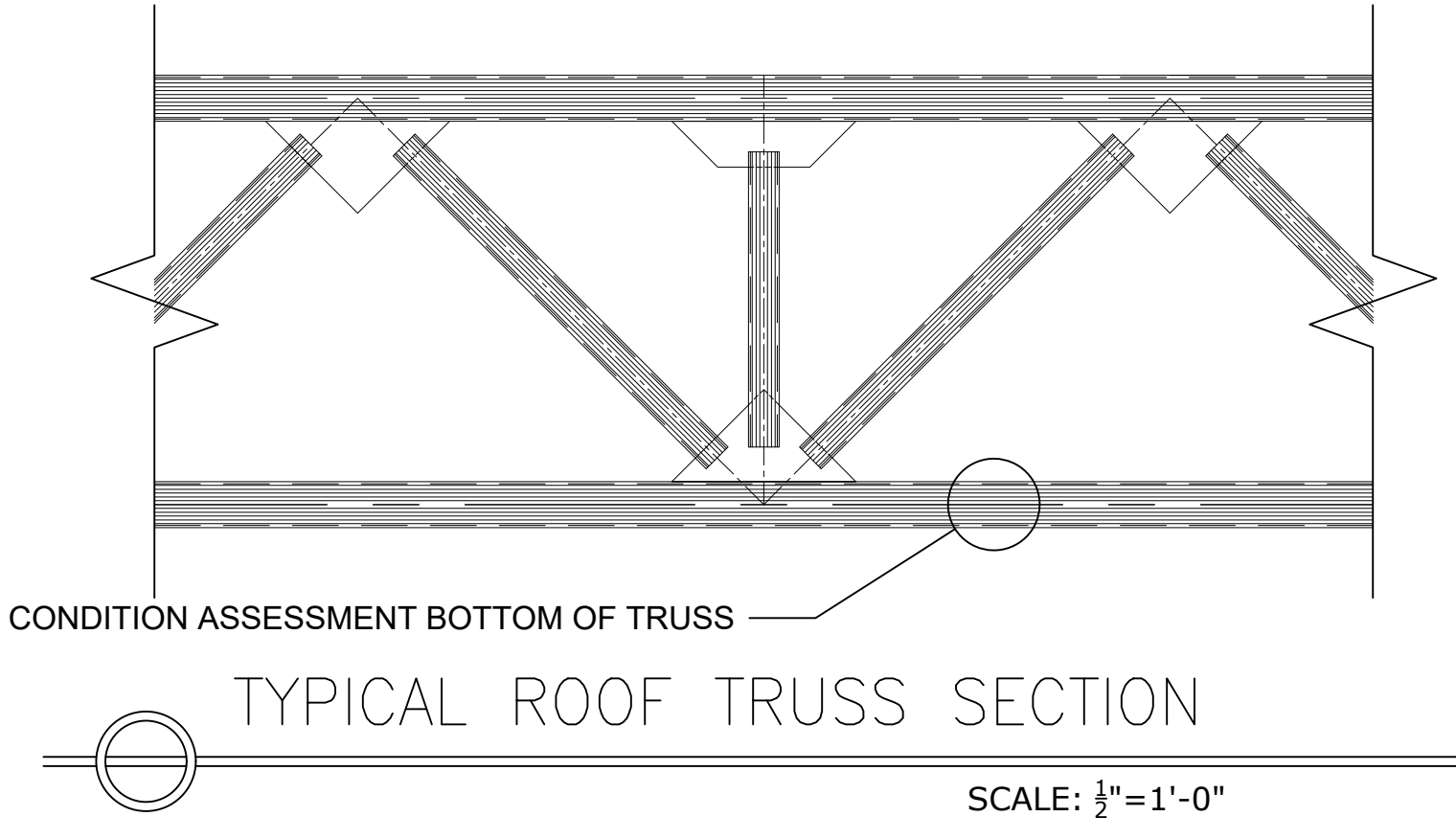
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CONDITION ASSESSMENT ROOF PLAN TRUSS TOP

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<b>CLIENT:</b>  <b>PRIDCO</b>	<b>PROJECT:</b> <b>PHASE II - ATRIUM REPAIR, REMEDIATION AND/OR REHABILITATION OF PRIDCO MAIN OFFICE BUILDING</b> <b>SAN JUAN, PUERTO RICO</b>	<b>DESCRIPTION:</b> <b>CONDITION ASSESSMENT ROOF PLAN TRUSS TOP</b>	<b>PROJECT NO.:</b> <b>2021-002</b> <b>ISSUE:</b> <b>03-19-2021</b>	THIS DRAWING OR PRINT DESPITE THE DESIGN EFFORT OF CARRASQUILLO ASSOCIATES ISSUED FOR REVIEW SOLELY AS AN INSTRUMENT OF THE SERVICE BEING RENDERED. IT REMAINS THE PROPERTY OF THIS OFFICE, SHALL BE USED ONLY BY AUTHORIZED PERSON, AND SHALL NOT BE COPIED OR REPRODUCED OR EXHIBIT UNLESS IN WRITING IS GRANTED. IT SHOULD BE RETURNED UPON REQUEST.			<b>CA-1</b>
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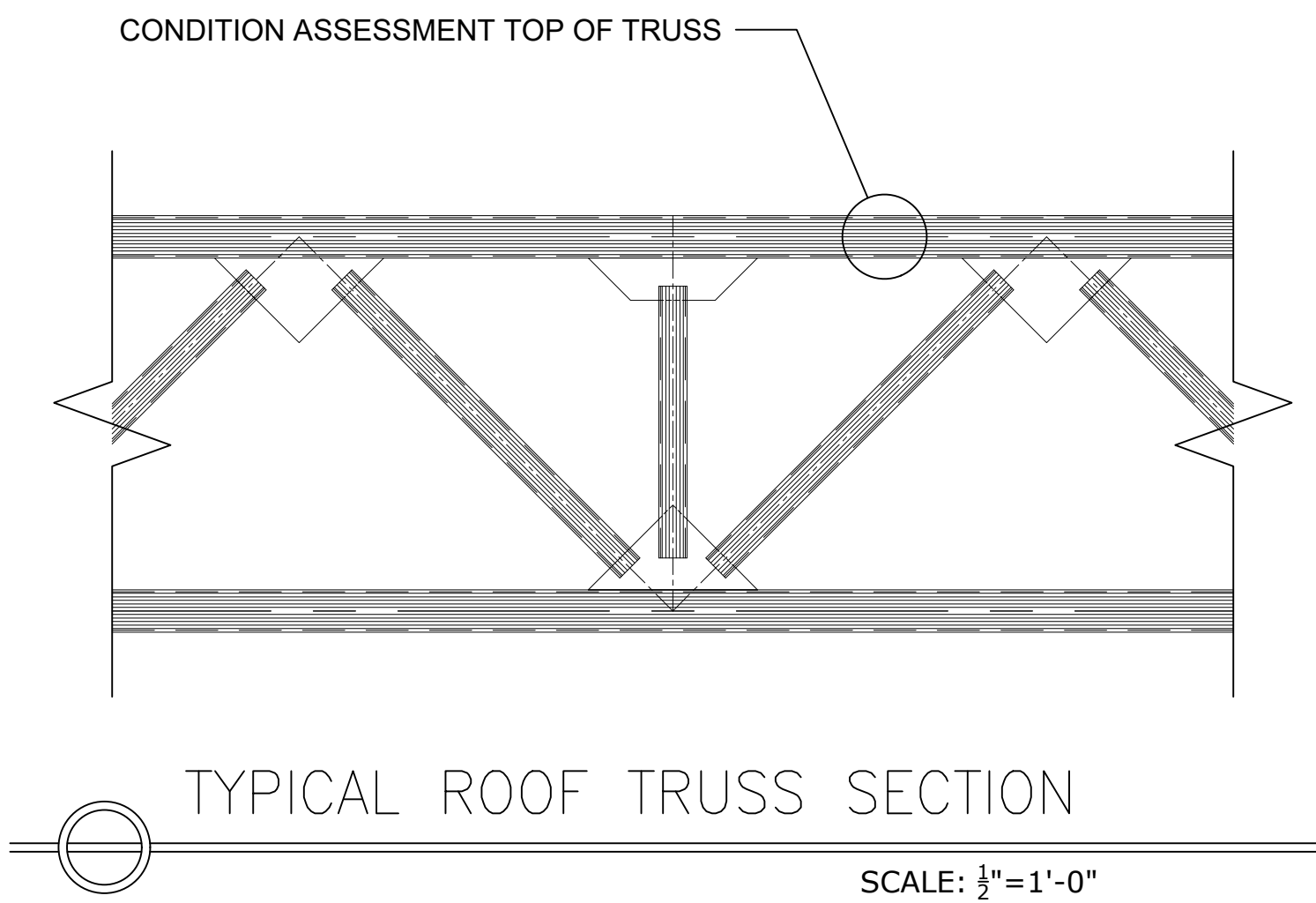
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----- PRIMARY BEAMS  
- - - - - SECONDARY BEAMS

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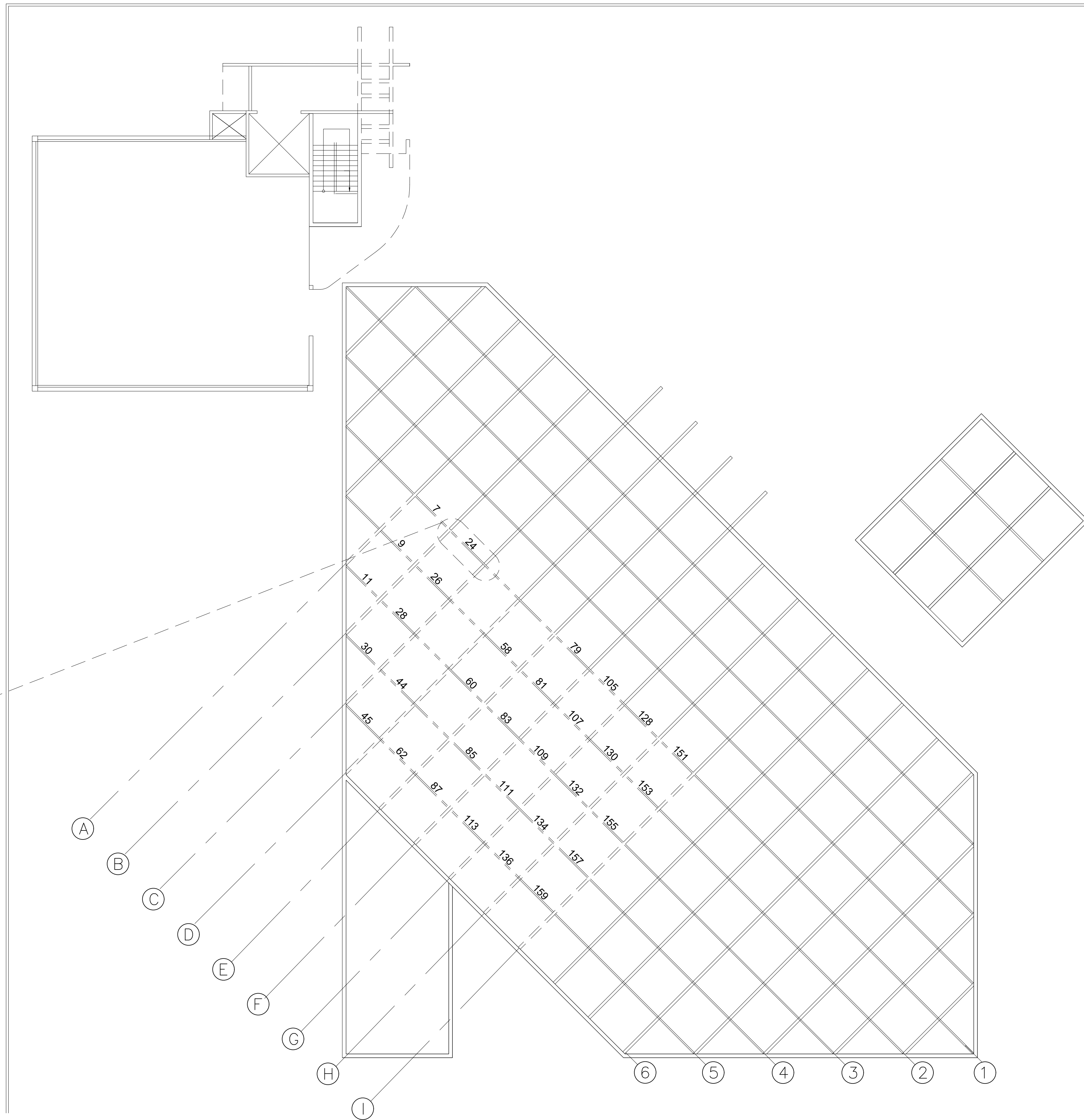
CONDITION ASSESSMENT ROOF PLAN TRUSS BOTTOM  
SCALE: 3/32"=1'-0"

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TYPICAL EXAMPLE OF FINDING  
ON TOP OF TRUSS.



LEGEND:

----- PRIMARY BEAMS

----- SECONDARY BEAMS

NOTE:

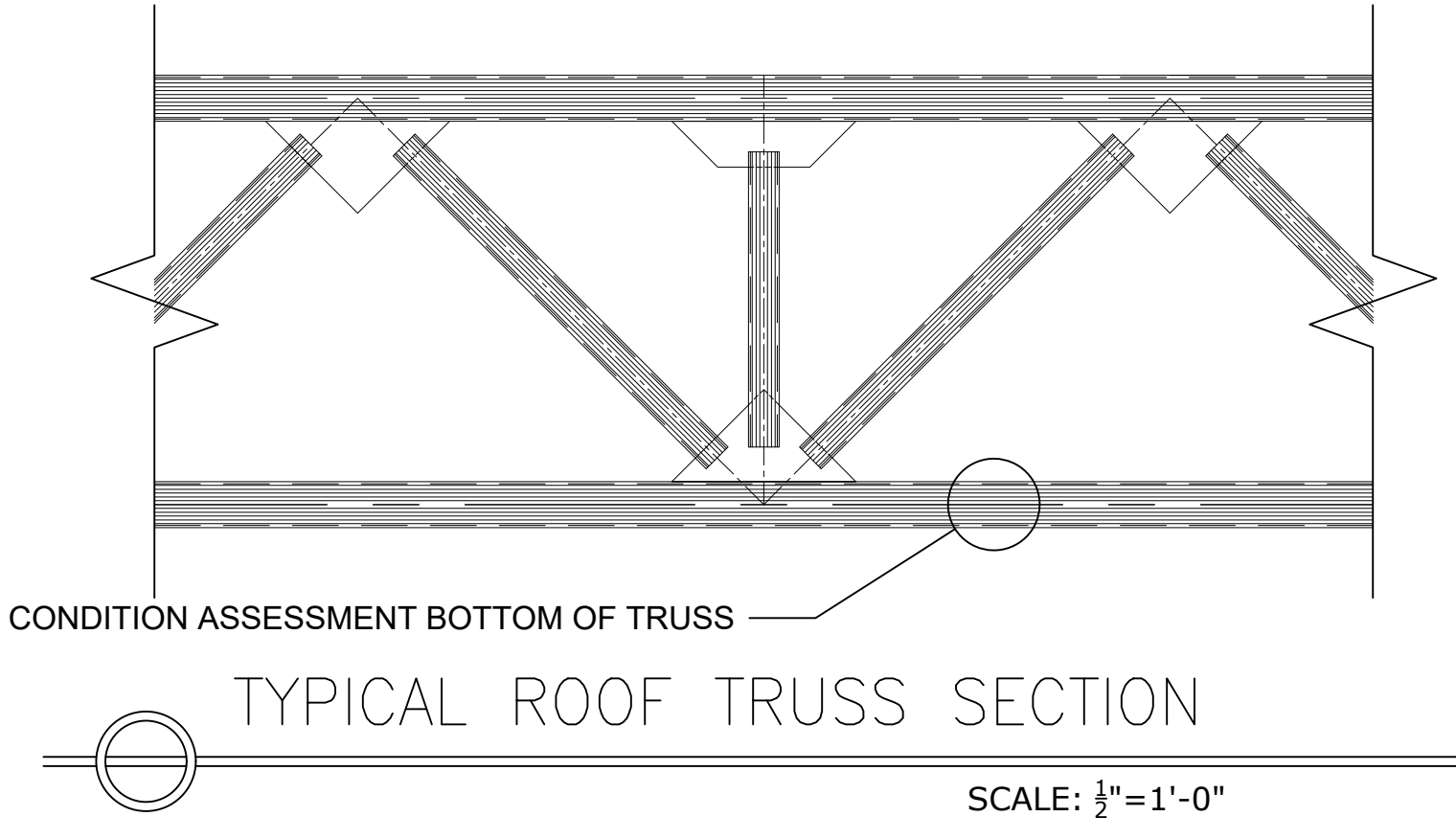
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CONDITION ASSESSMENT ROOF PLAN TRUSS TOP

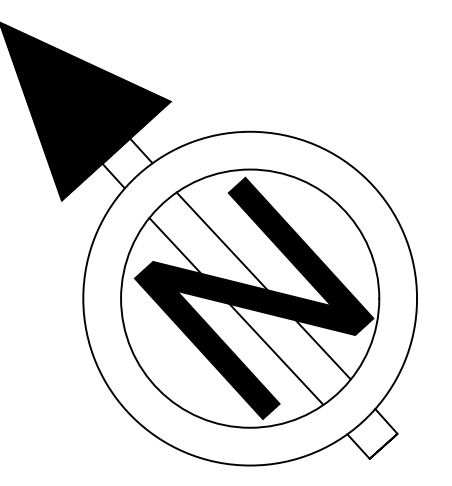
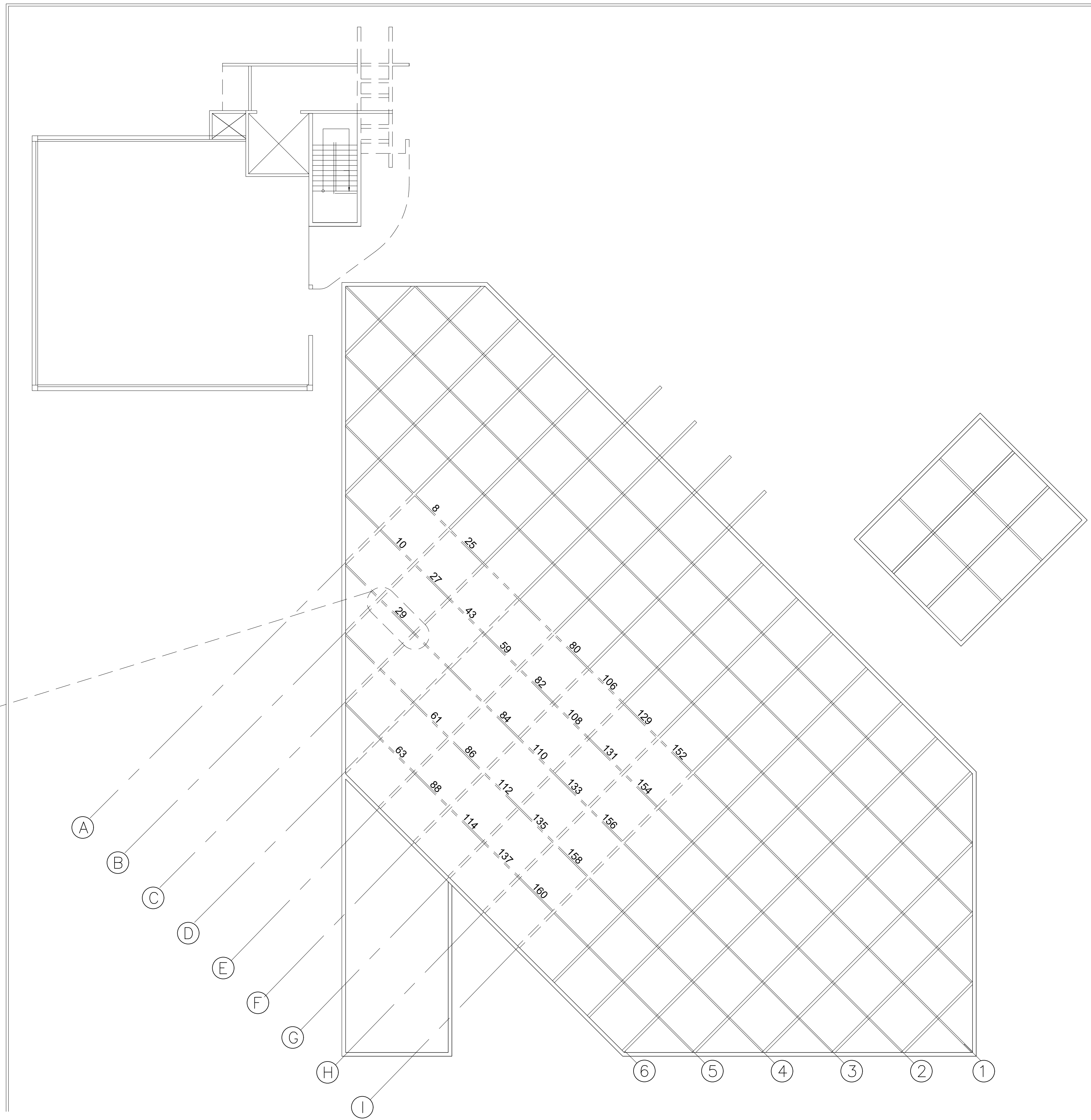
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				ISSUE:  03-19-2021				





TYPICAL EXAMPLE OF FINDING ON BOTTOM OF TRUSS.



- LEGEND:
- PRIMARY BEAMS
  - SECONDARY BEAMS

NOTE:

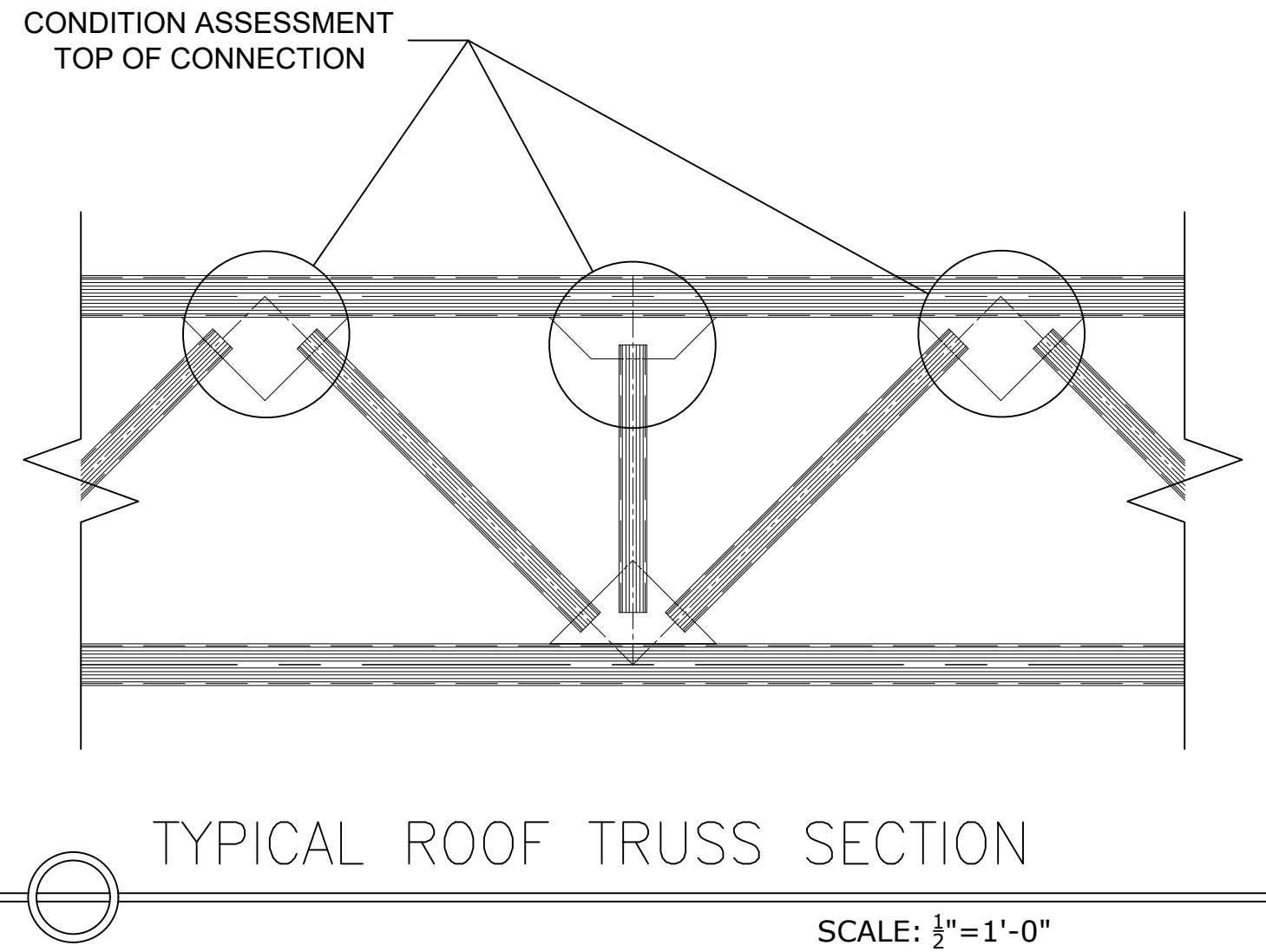
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CONDITION ASSESSMENT ROOF PLAN TRUSS BOTTOM

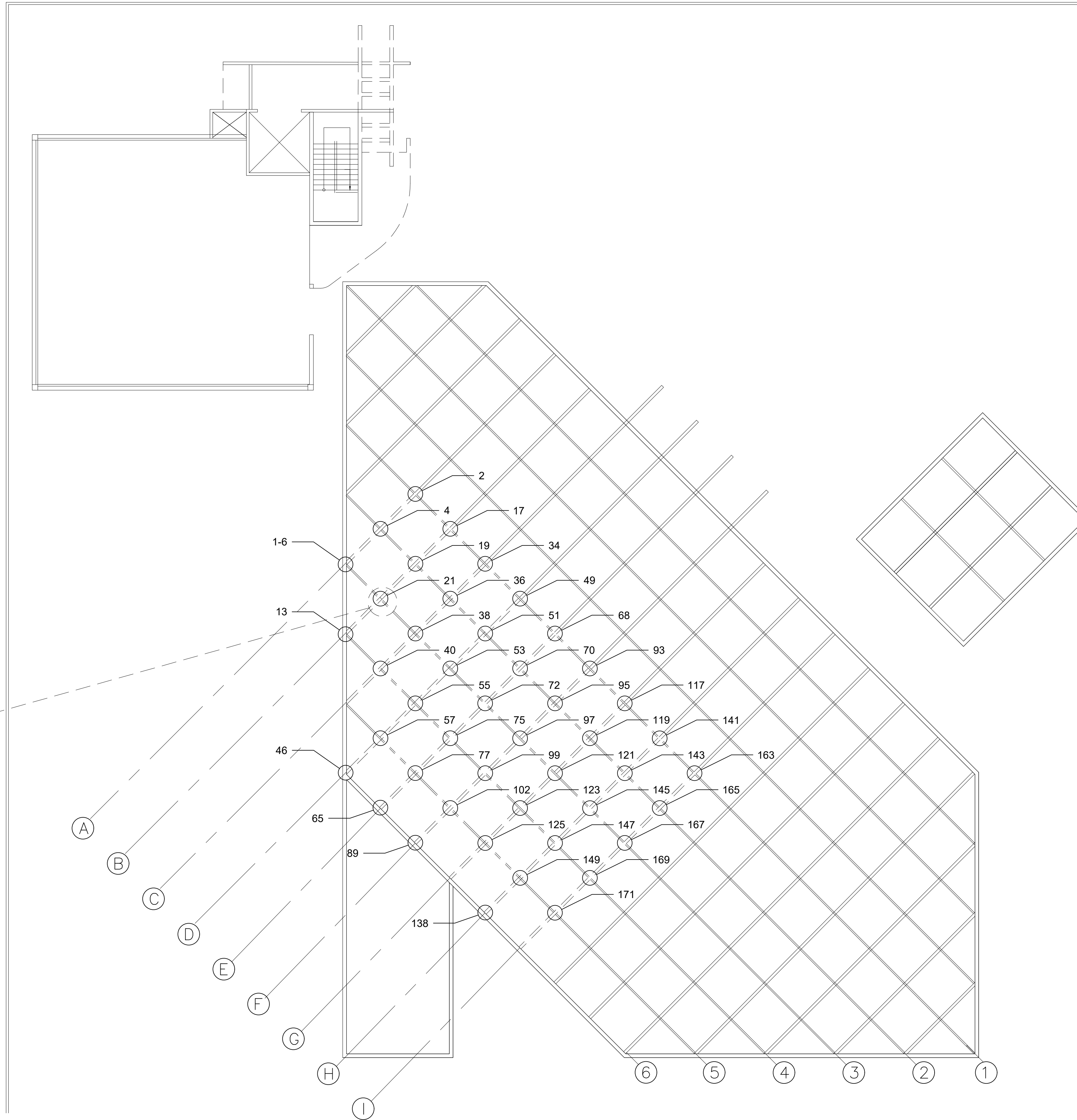
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				ISSUE: 03-19-2021				





TYPICAL EXAMPLE OF FINDING  
ON TOP OF CONNECTION.



**LEGEND:**

----- PRIMARY BEAMS

----- SECONDARY BEAMS

**NOTE:**

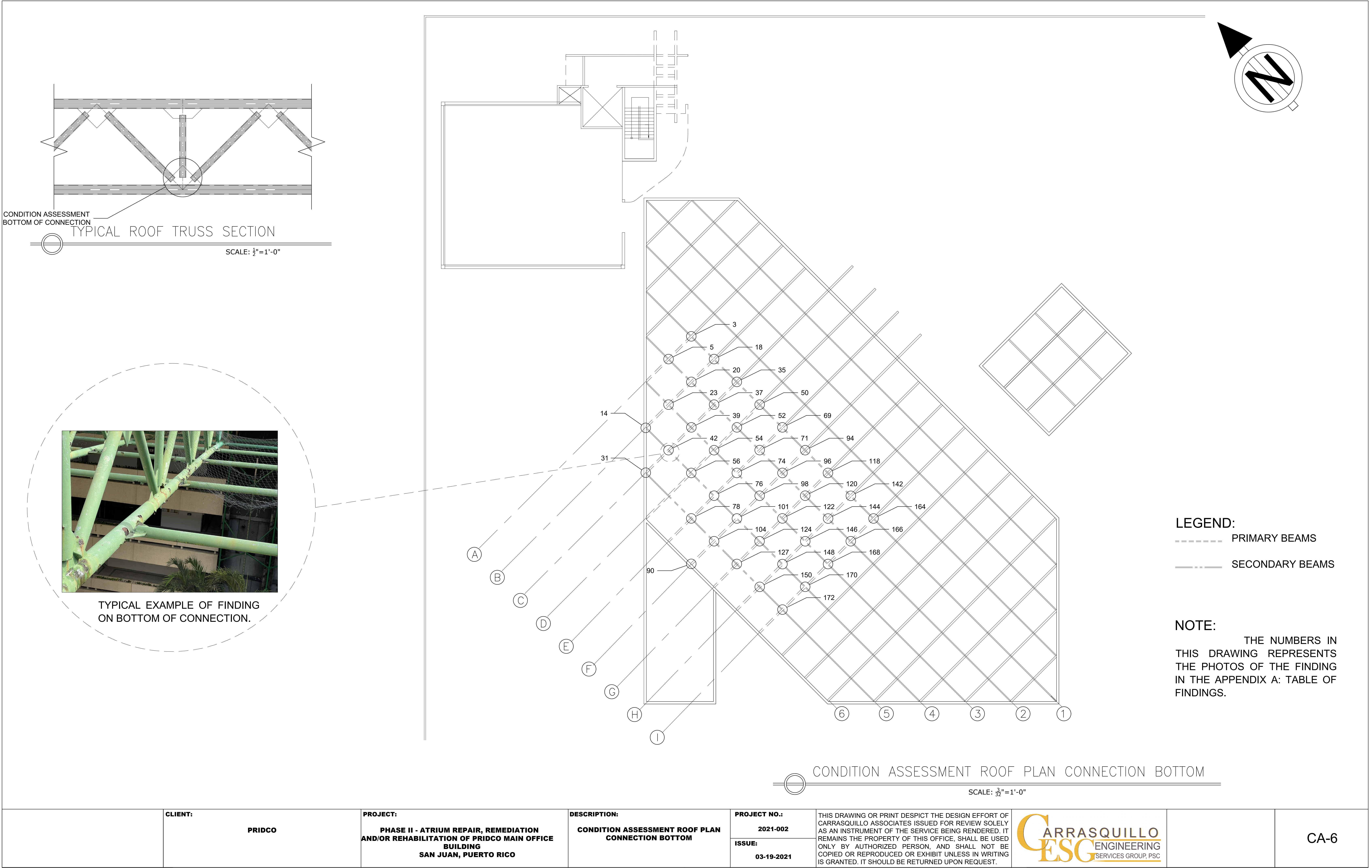
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FINDINGS.

CONDITION ASSESSMENT ROOF PLAN CONNECTION TOP

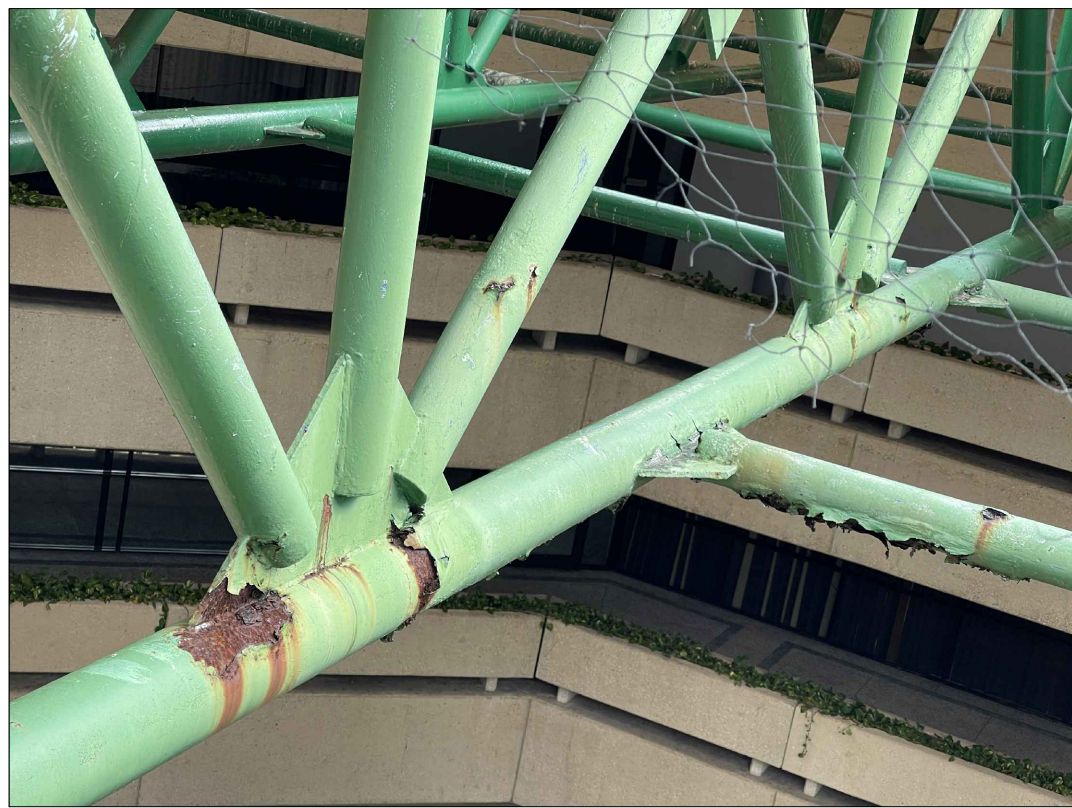
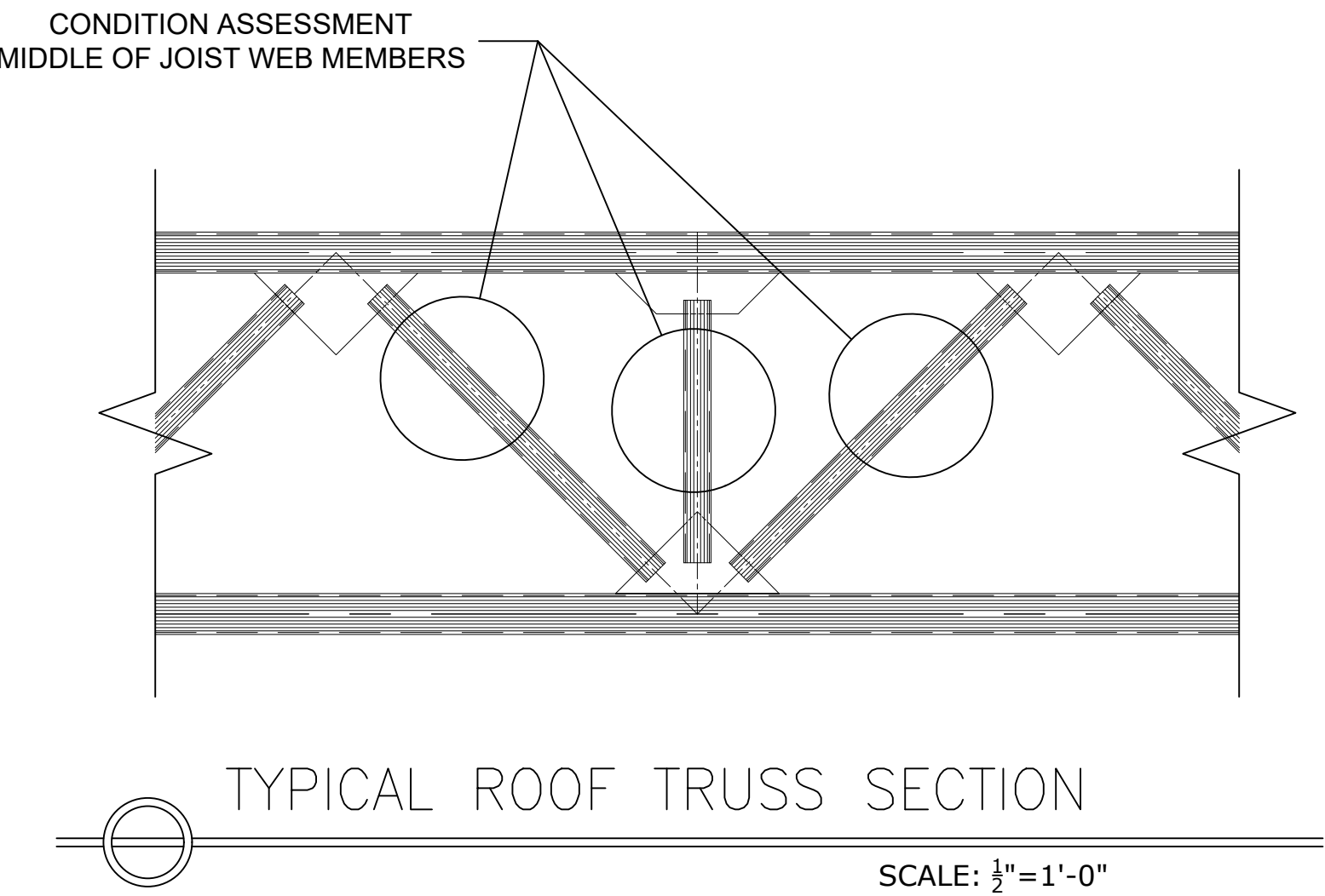
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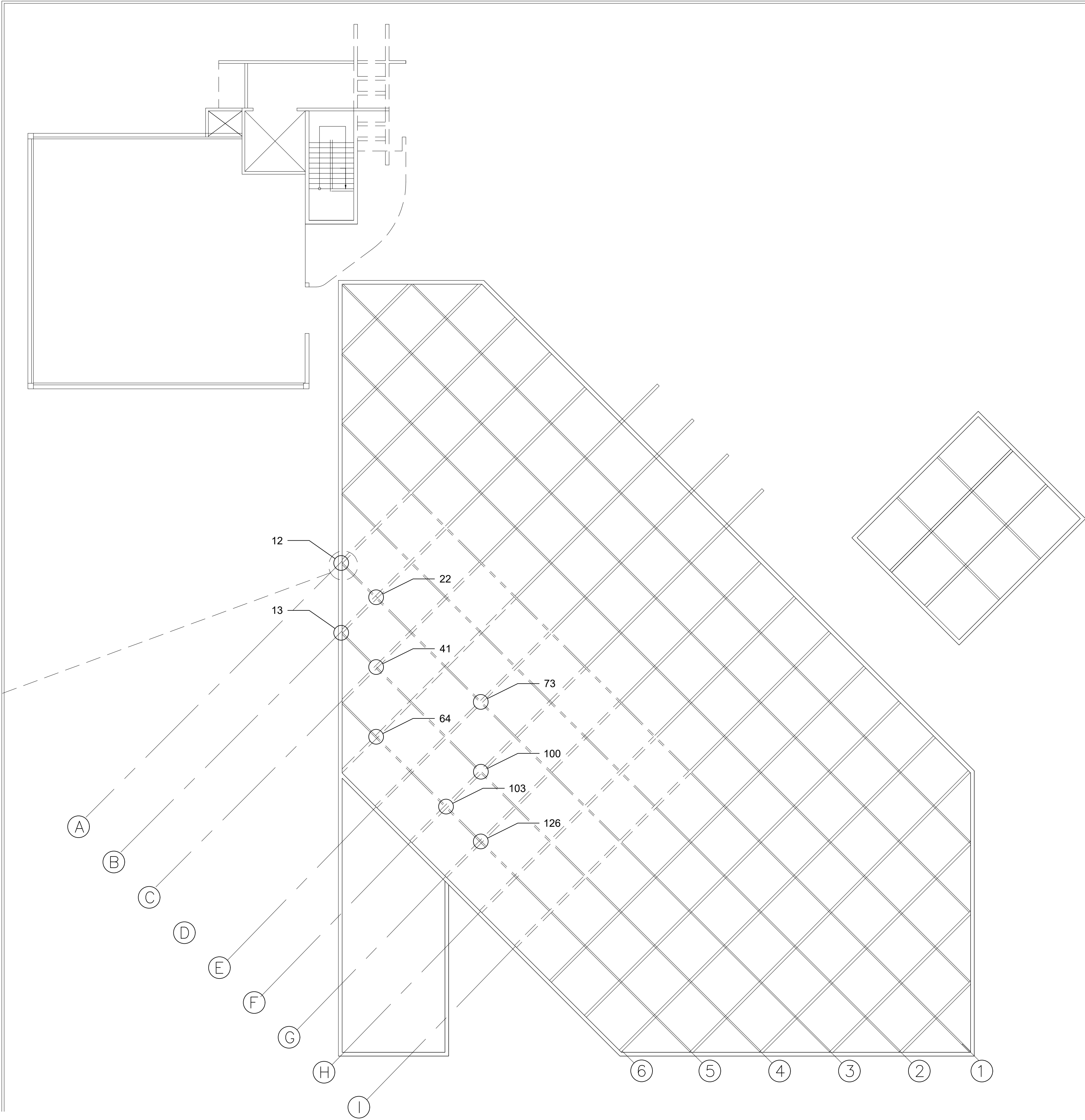








TYPICAL EXAMPLE OF FINDING  
ON JOIST WEB MEMBERS.



LEGEND:

----- PRIMARY BEAMS

----- SECONDARY BEAMS

NOTE:

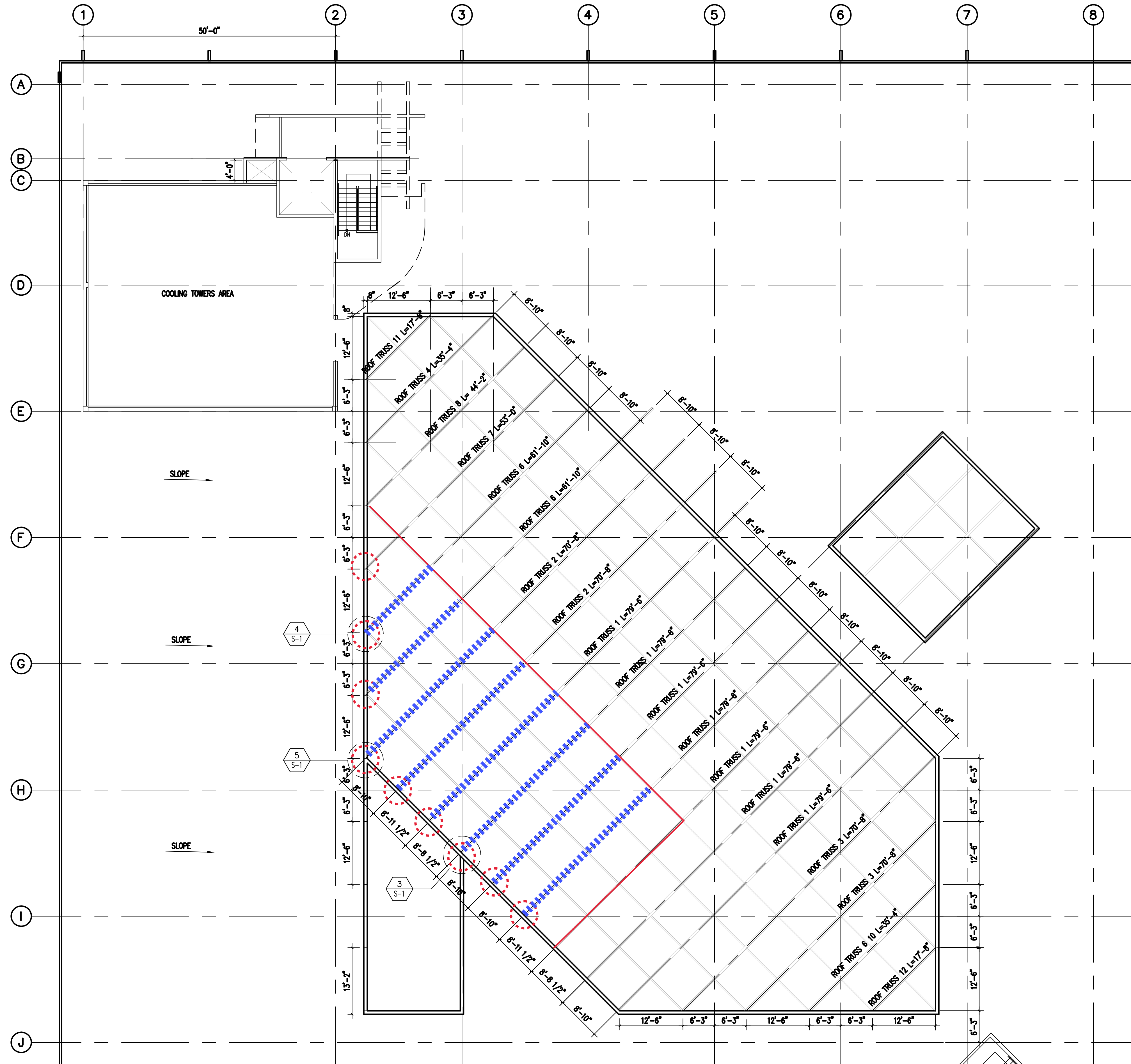
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THE PHOTOS OF THE FINDING  
IN THE APPENDIX A: TABLE OF  
FINDINGS.

CONDITION ASSESSMENT ROOF PLAN JOIST WEB MEMBERS

SCALE:  $\frac{3}{32}"=1'-0"$

	CLIENT:  PRIDCO	PROJECT:  PHASE II - ATRIUM REPAIR, REMEDIATION AND/OR REHABILITATION OF PRIDCO MAIN OFFICE BUILDING SAN JUAN, PUERTO RICO	DESCRIPTION:  CONDITION ASSESSMENT ROOF PLAN JOIST WEB MEMBERS	PROJECT NO.:  2021-002	THIS DRAWING OR PRINT DESPITE THE DESIGN EFFORT OF CARRASQUILLO ASSOCIATES ISSUED FOR REVIEW SOLELY AS AN INSTRUMENT OF THE SERVICE BEING RENDERED. IT REMAINS THE PROPERTY OF THIS OFFICE, SHALL BE USED ONLY BY AUTHORIZED PERSON, AND SHALL NOT BE COPIED OR REPRODUCED OR EXHIBIT UNLESS IN WRITING IS GRANTED. IT SHOULD BE RETURNED UPON REQUEST.			CA-7
				ISSUE:  03-19-2021				

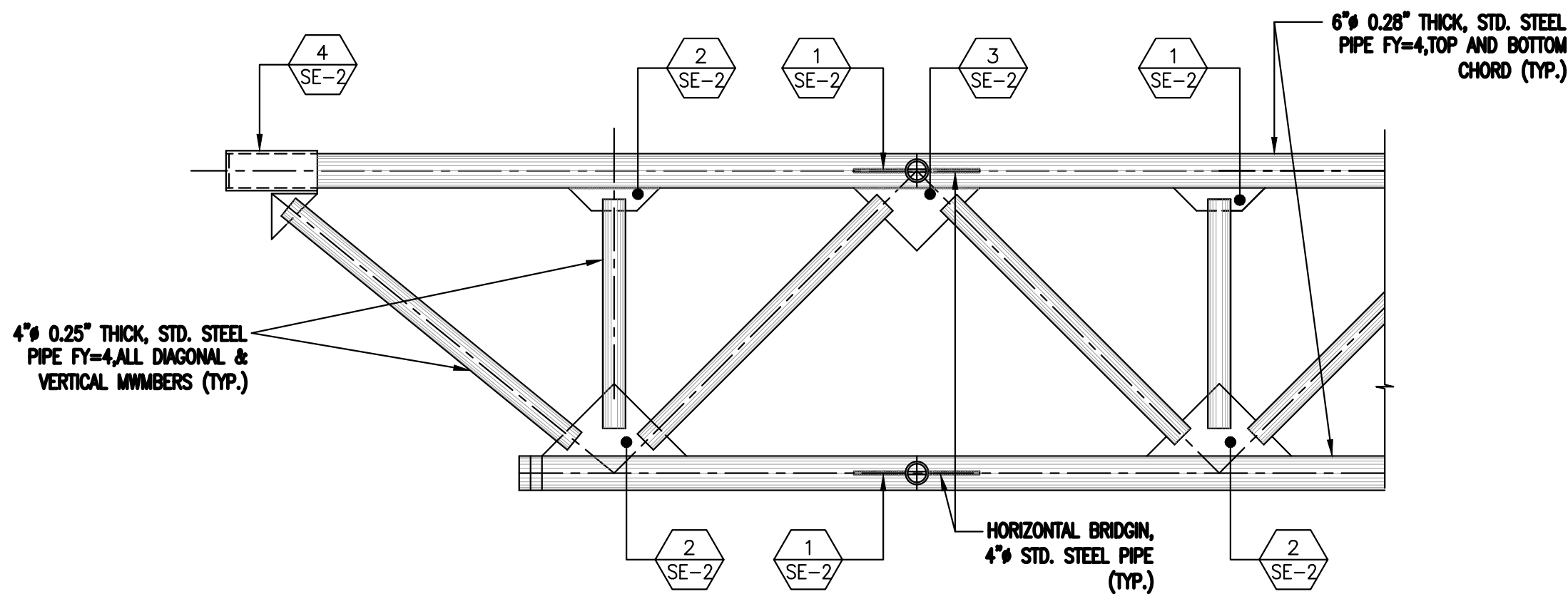




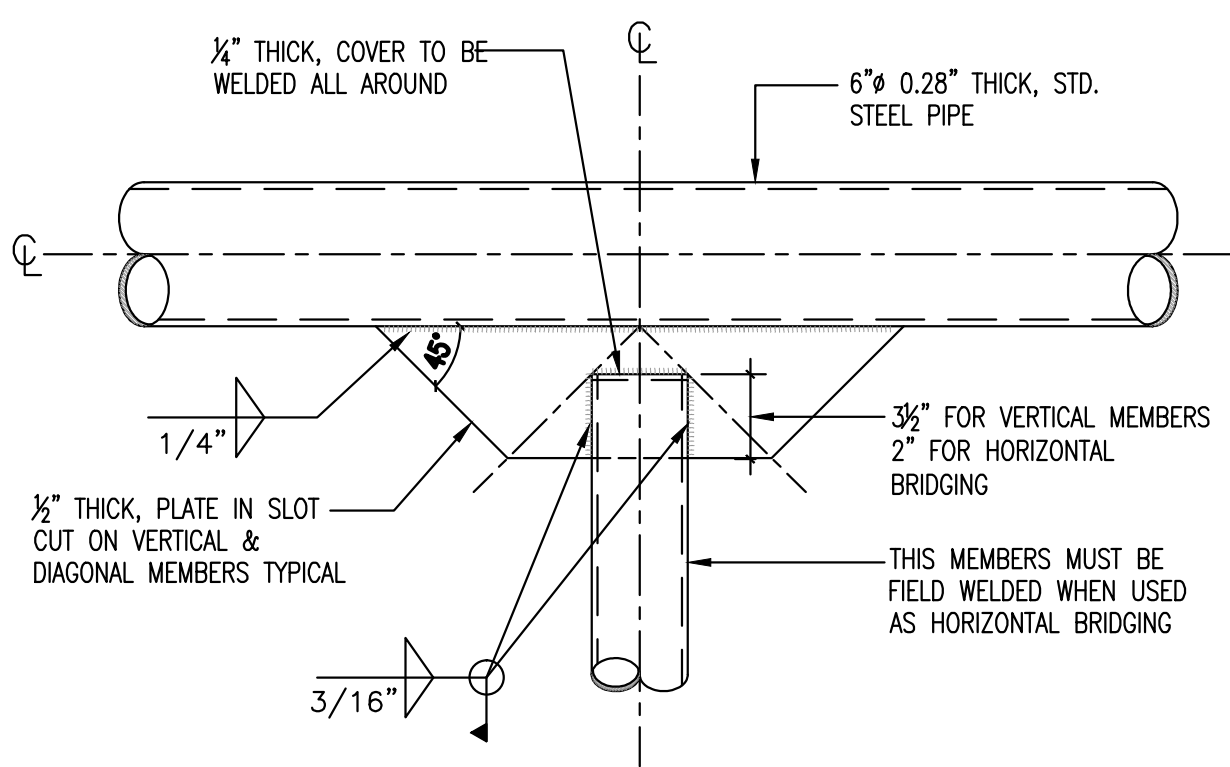
Structural Trusses to be cut and replace by same dimensions and characteristics of the existing structural element.  
 Full penetrating weld shall be performed to replace the damage truss.

<b>CLIENT:</b>  <b>PRIDCO</b>	<b>PROJECT:</b>  <b>FOMENTO HEADQUARTERS</b> HATO REY, PUERTO RICO	<b>DESCRIPTION:</b>  <b>EXISTING CONDITIONS ROOF PLAN</b>	<b>PROJECT NO.:</b> 11-101  <b>ISSUE:</b> 01-31-2011	THIS DRAWING IS THE PROPERTY OF THE DESIGNER AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.			SE-1
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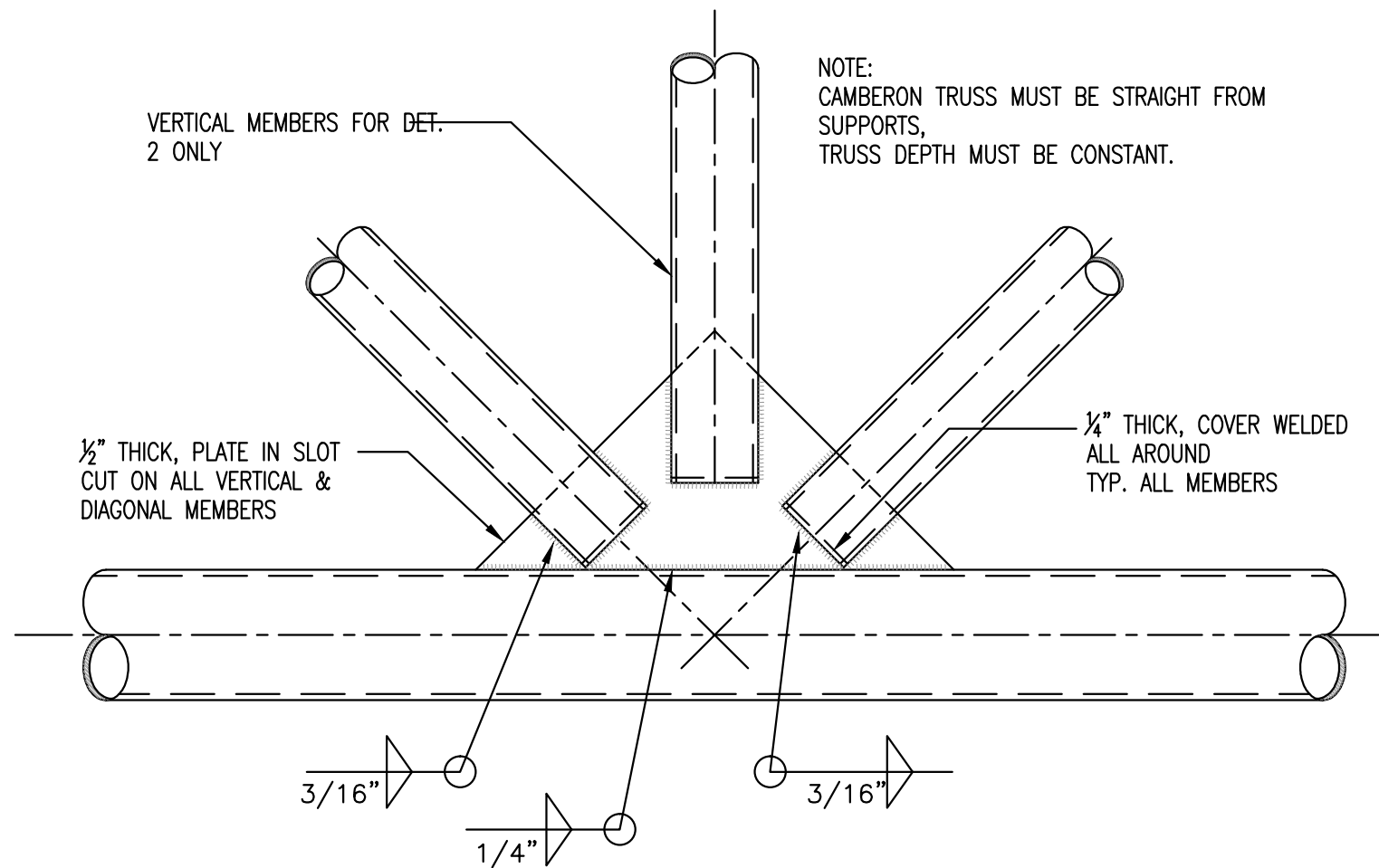




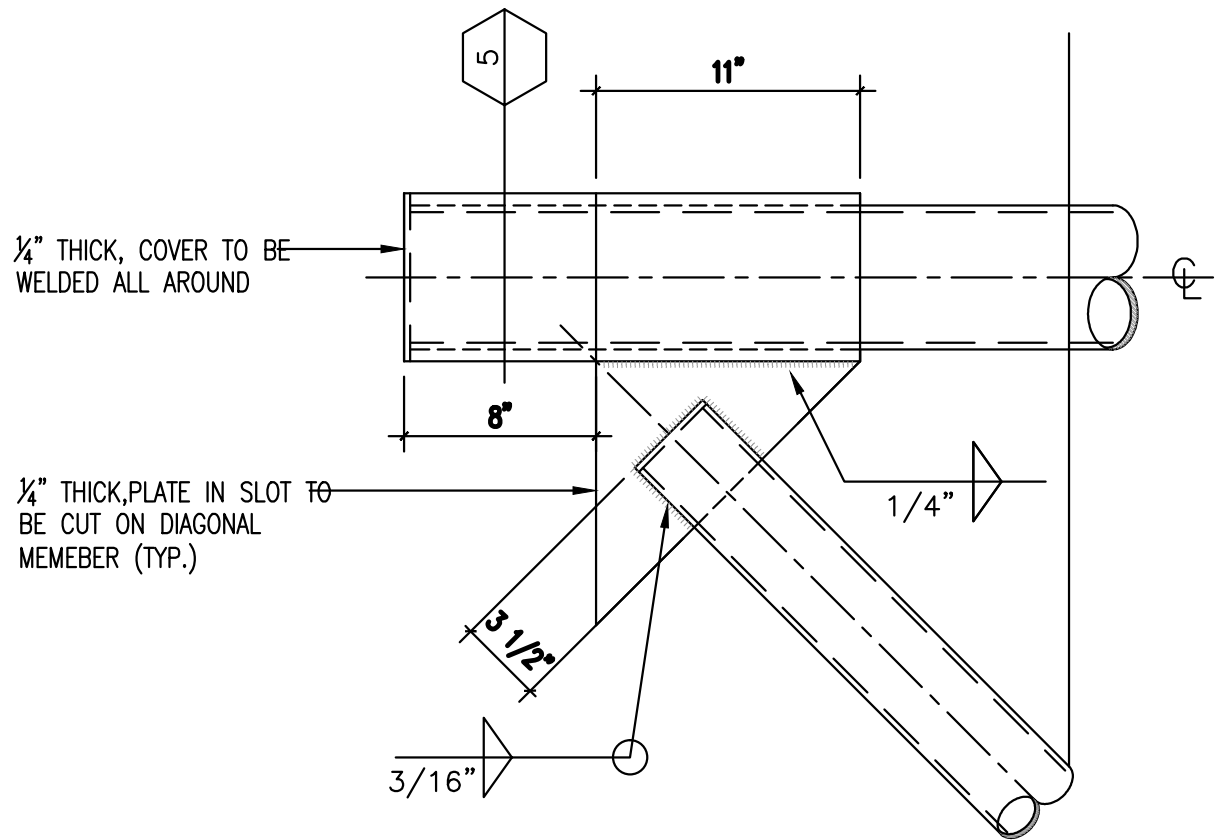
**ROOF TRUSS TYPICAL**  
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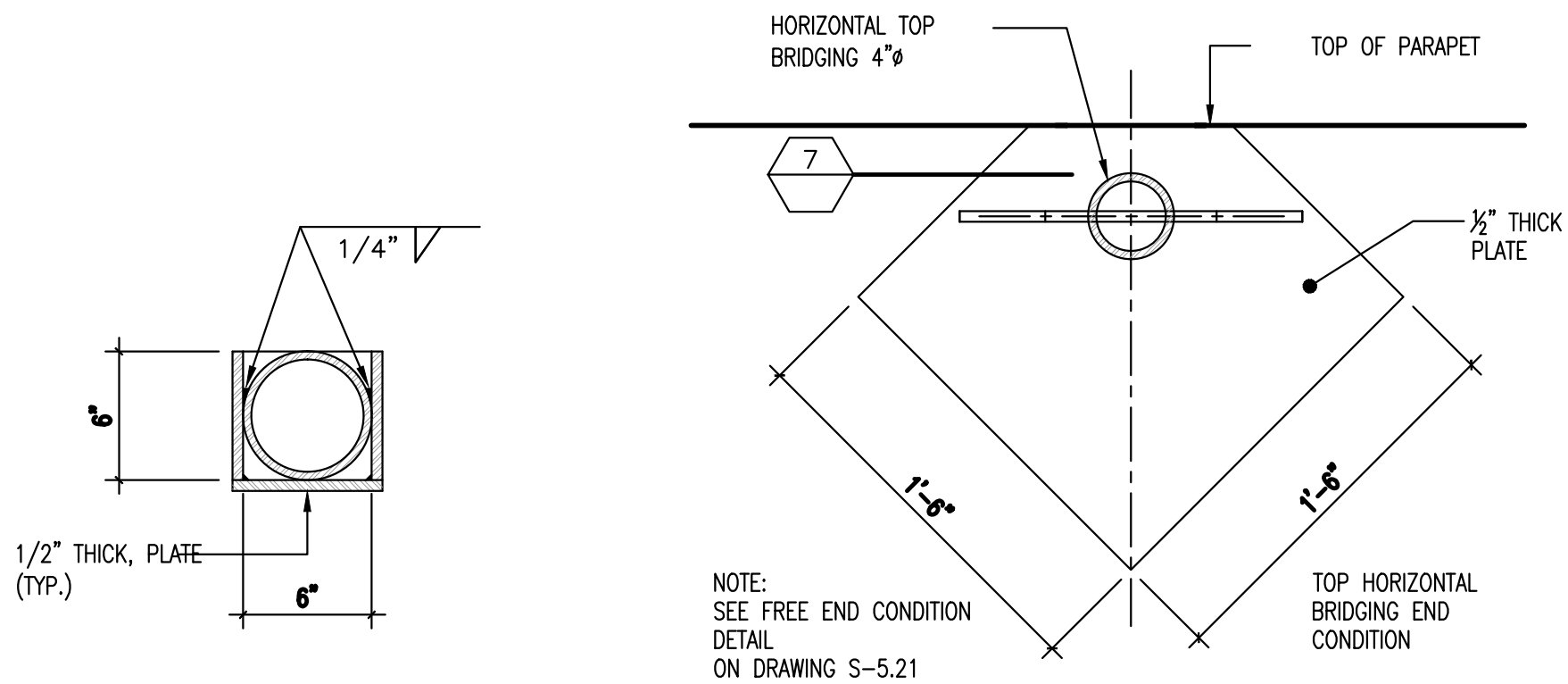
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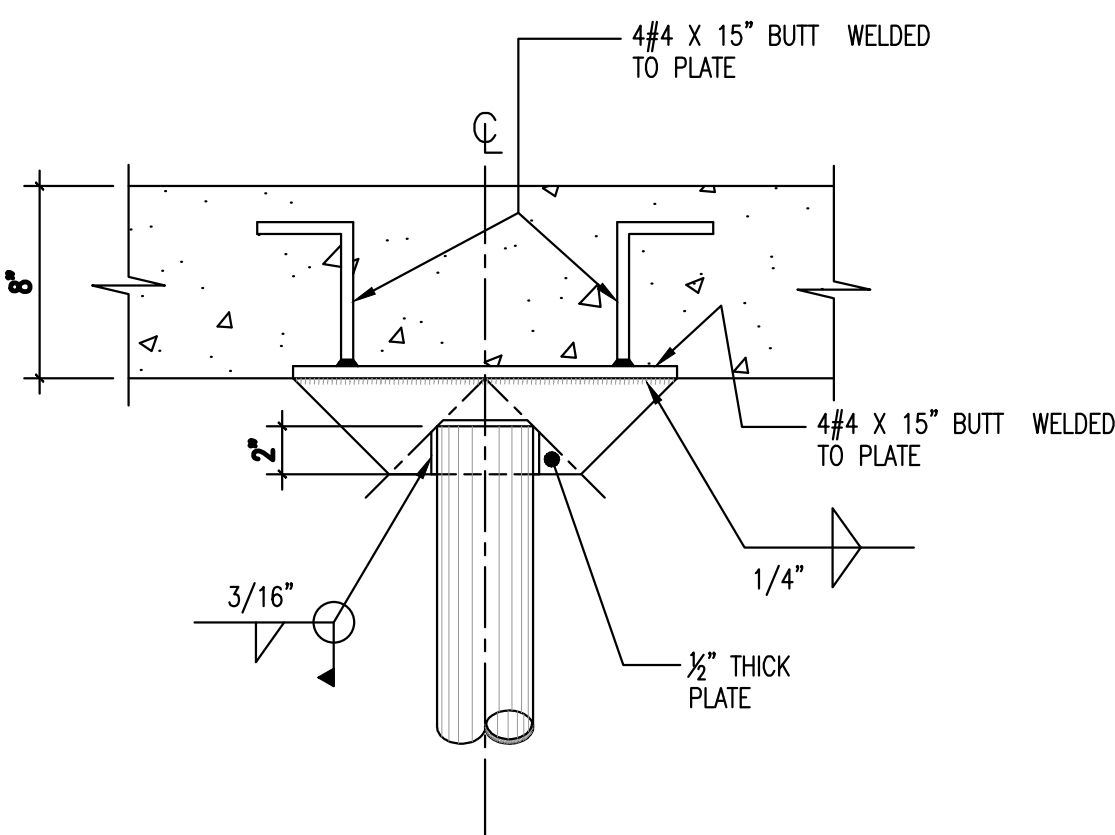
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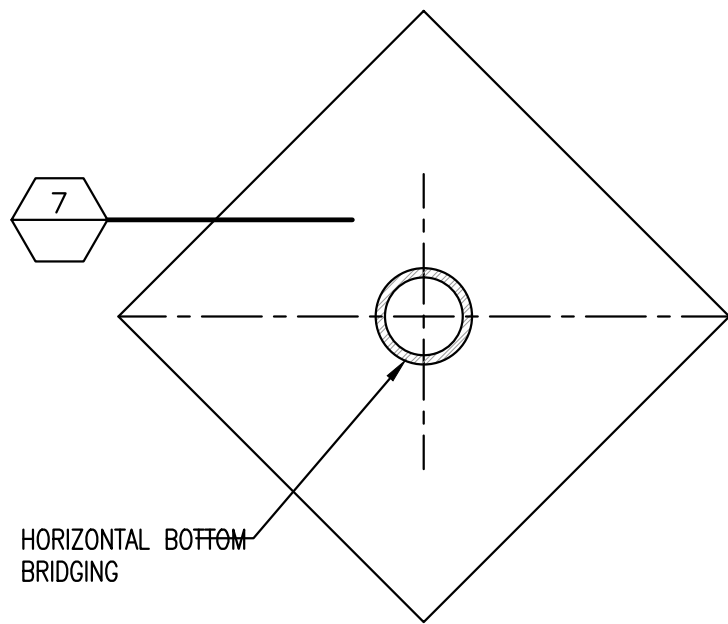
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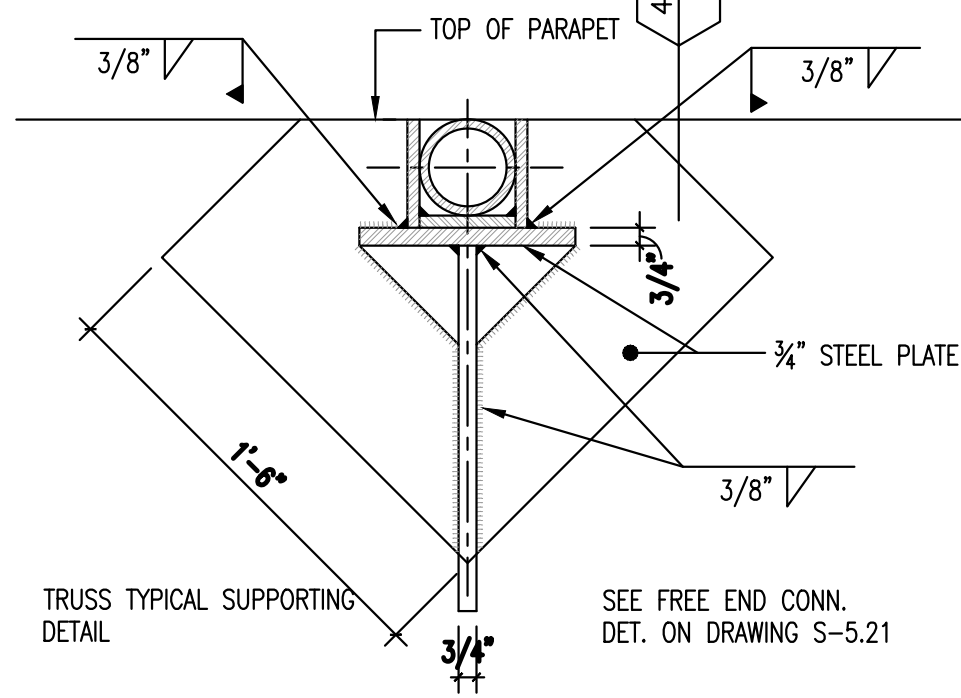
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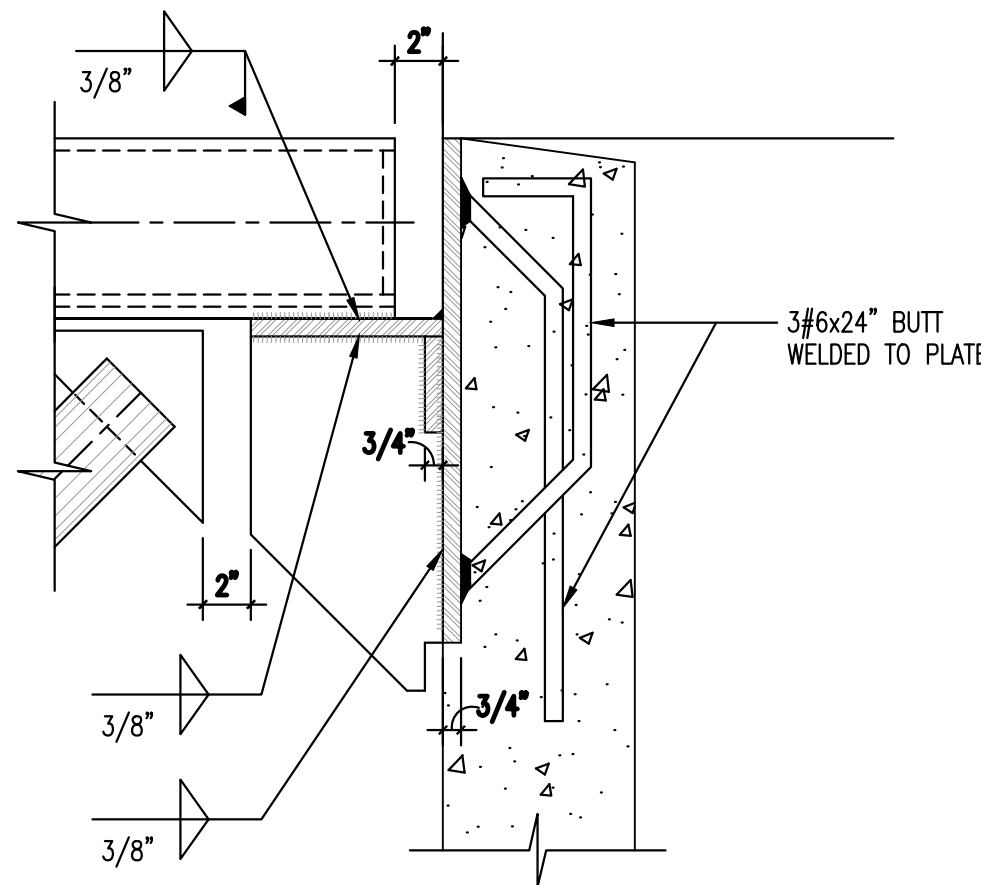
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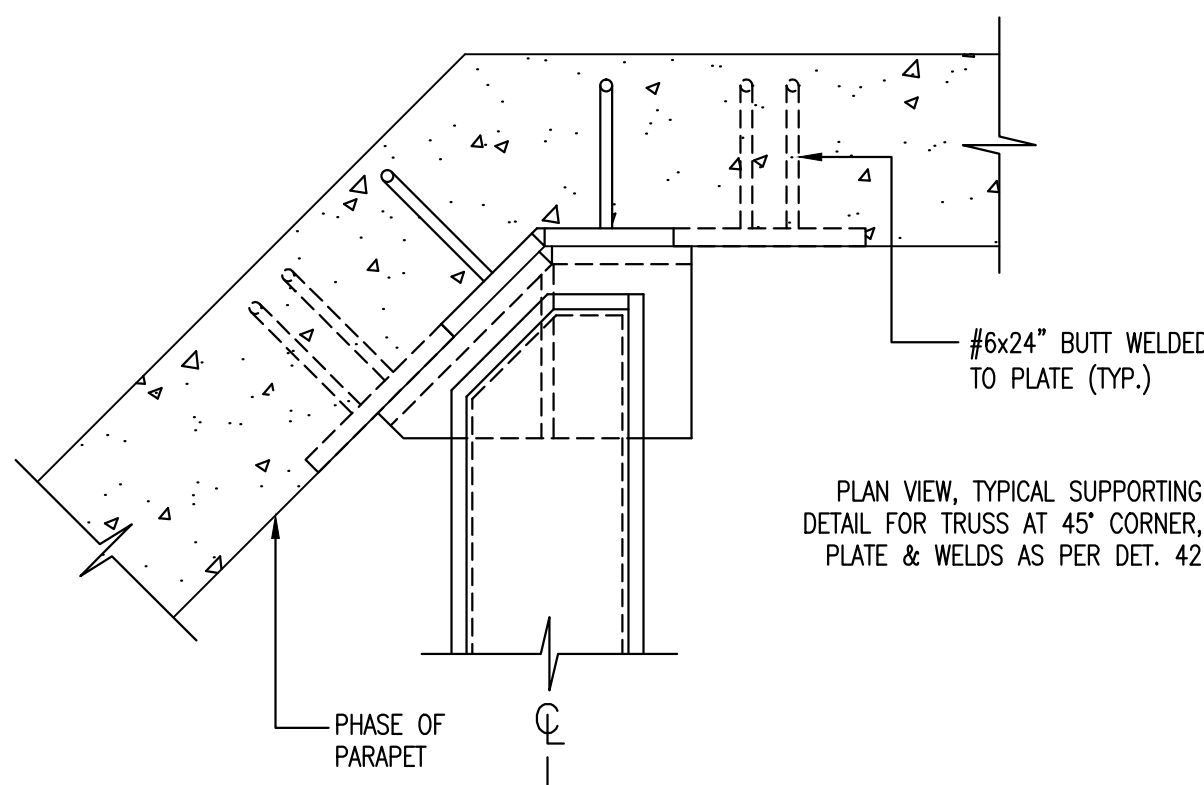
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**SECTION MK'D. 8**  
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**SECTION MK'D. 9**  
SCALE: 1 1/2"=1'-0"



**SECTION MK'D. 10**  
SCALE: 1 1/2"=1'-0"



**SECTION MK'D. 11**  
SCALE: 1 1/2"=1'-0"

CLIENT:

PRIDCO

PROJECT:

**FOMENTO HEADQUARTERS**  
HATO REY, PUERTO RICO

DESCRIPTION:

**EXISTING STRUCTURAL DETAILS**

PROJECT NO.:

1-101

ISSUE:

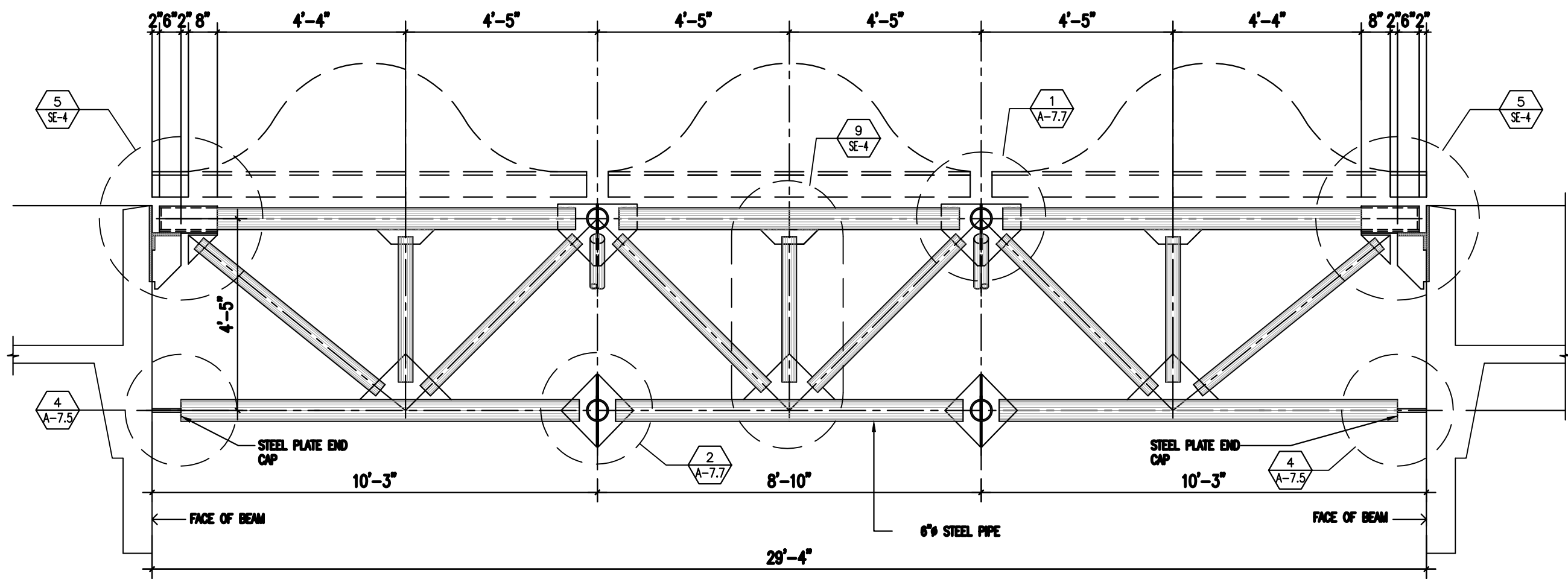
0-31-201

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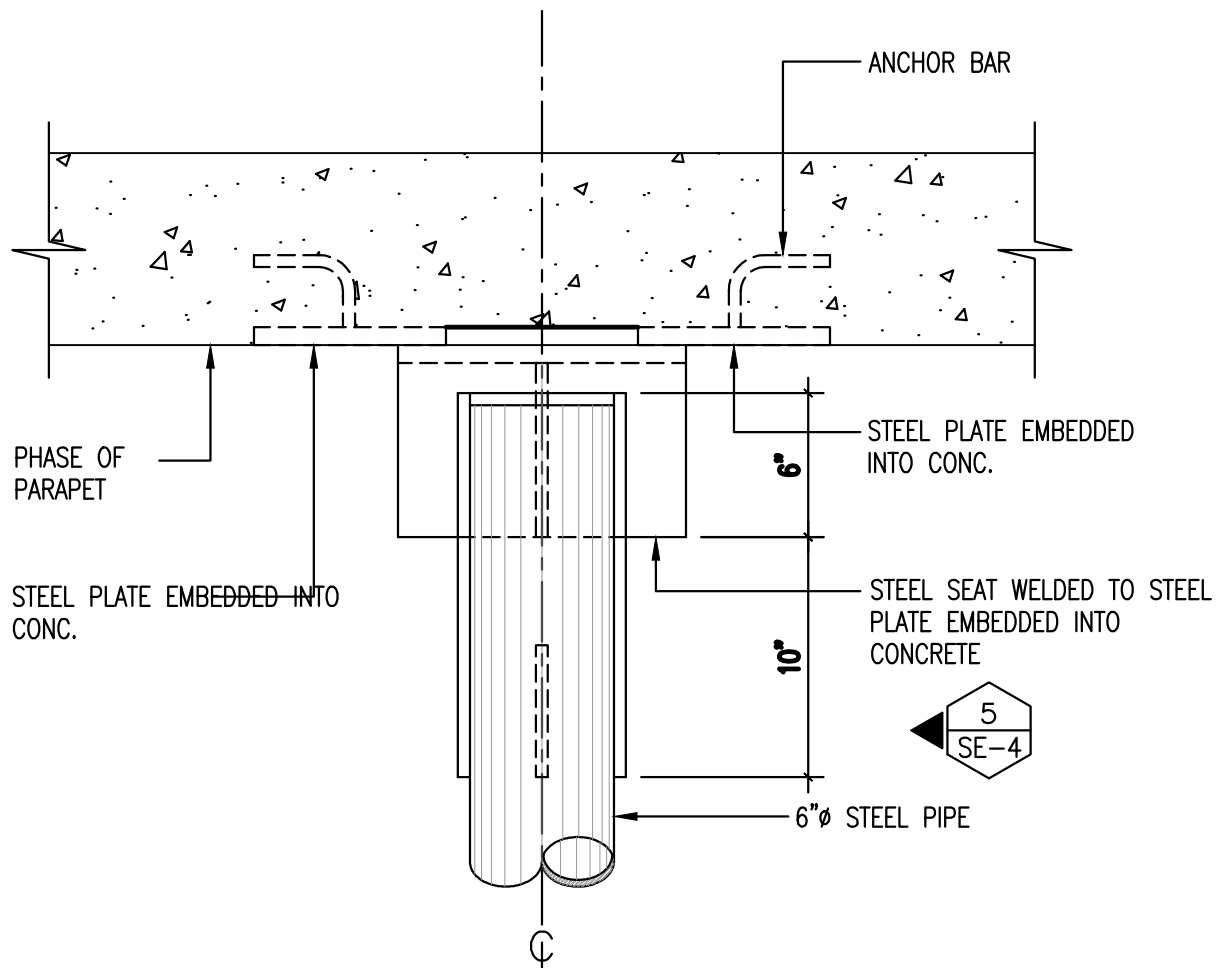
**CARRASQUILLO**  
**ESG** ENGINEERING  
SERVICES GROUP, PSC

SE-1

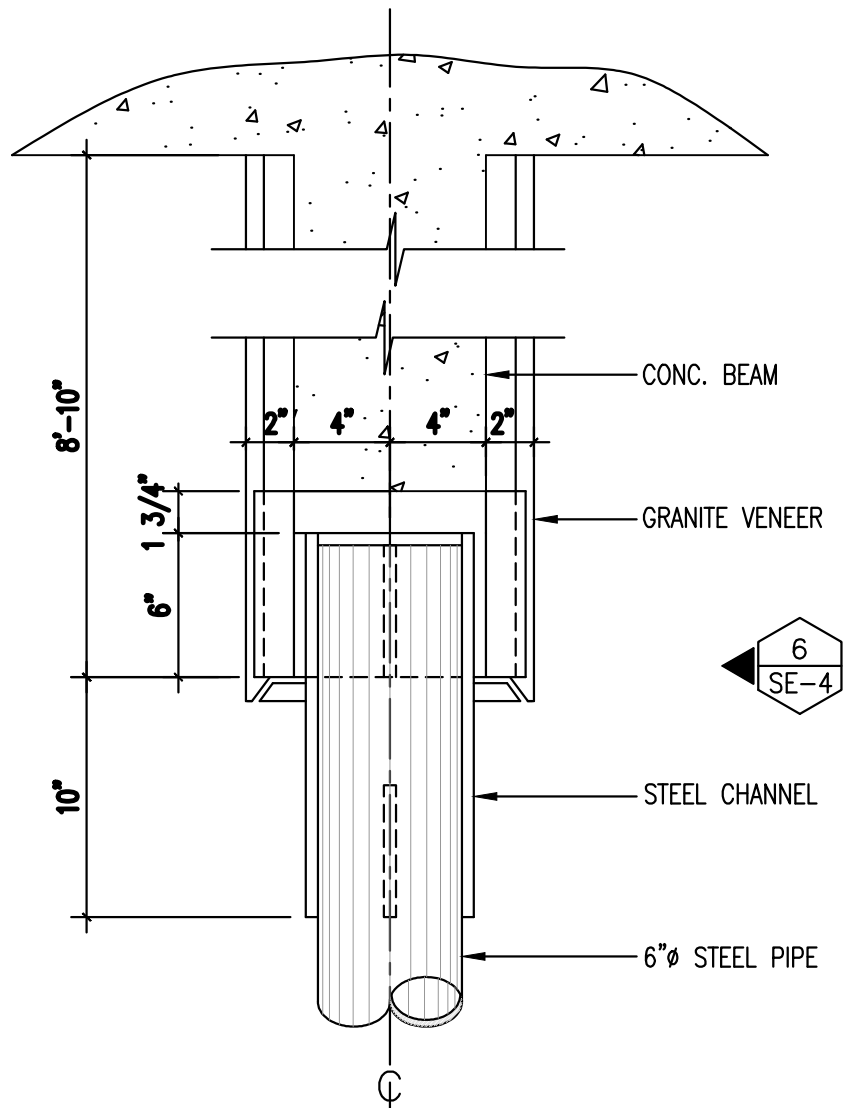




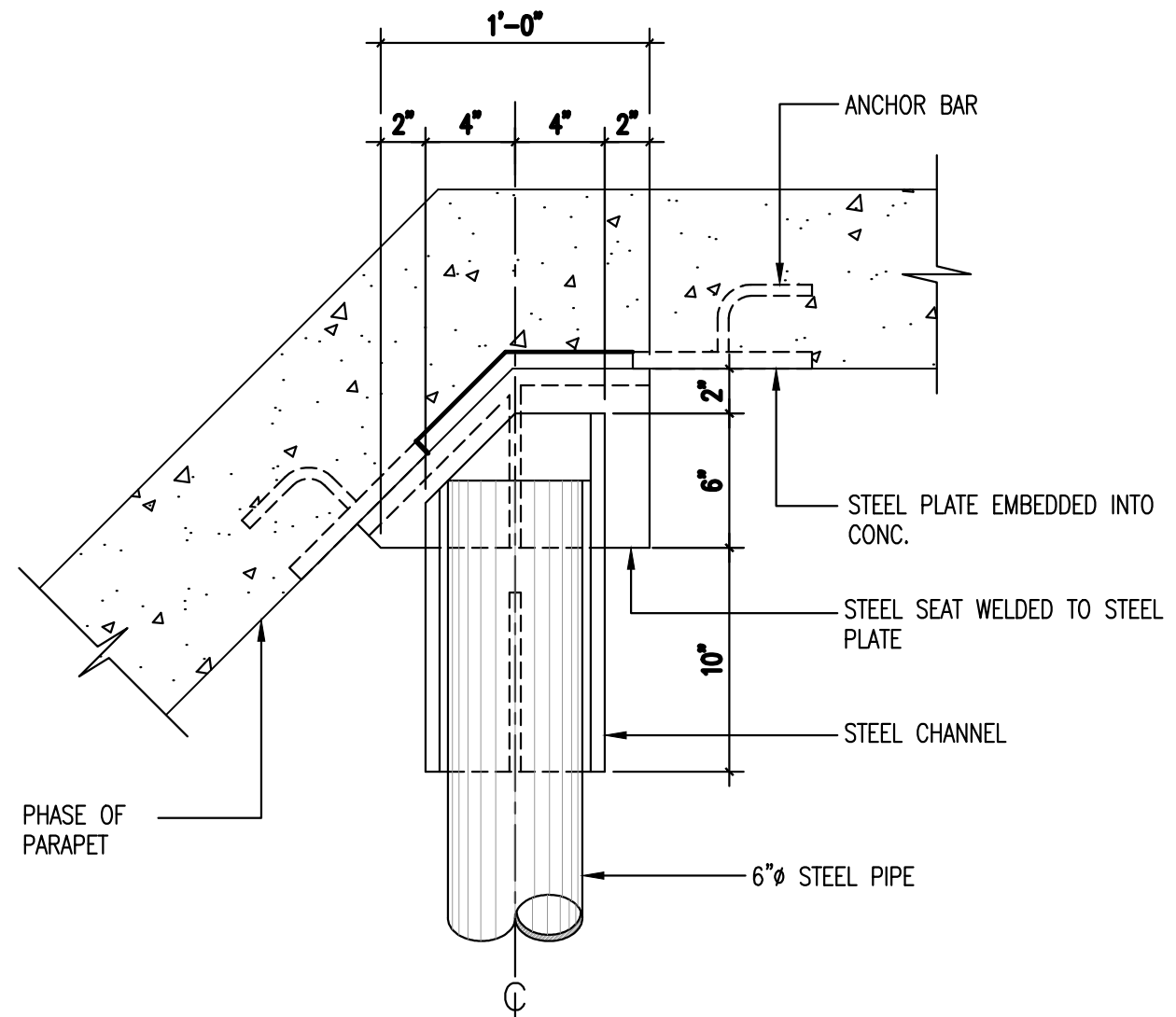
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SCALE: 1/2"=1'-0"



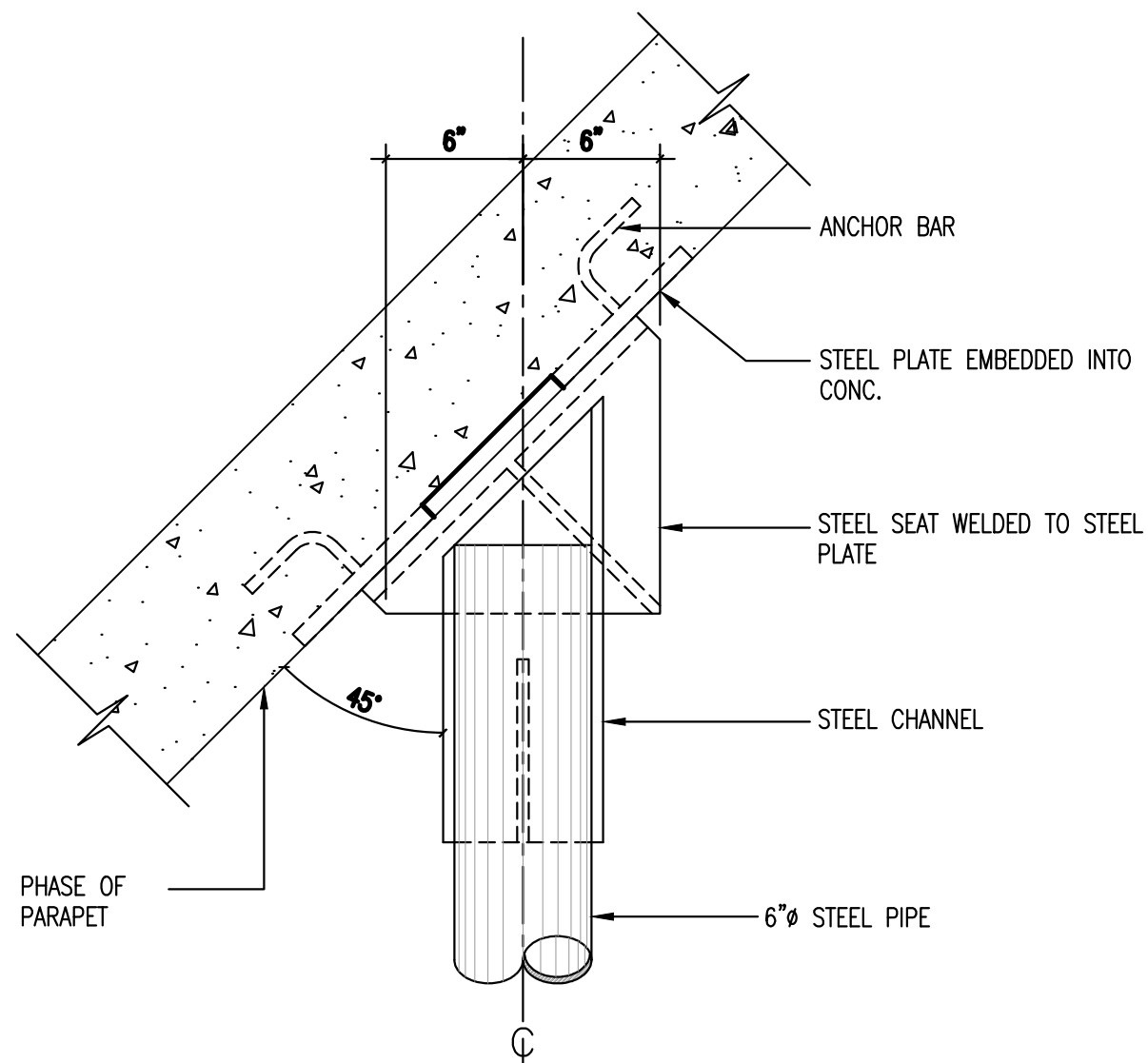
**TRUSS SUPPORT CONDITION PLAN 1**  
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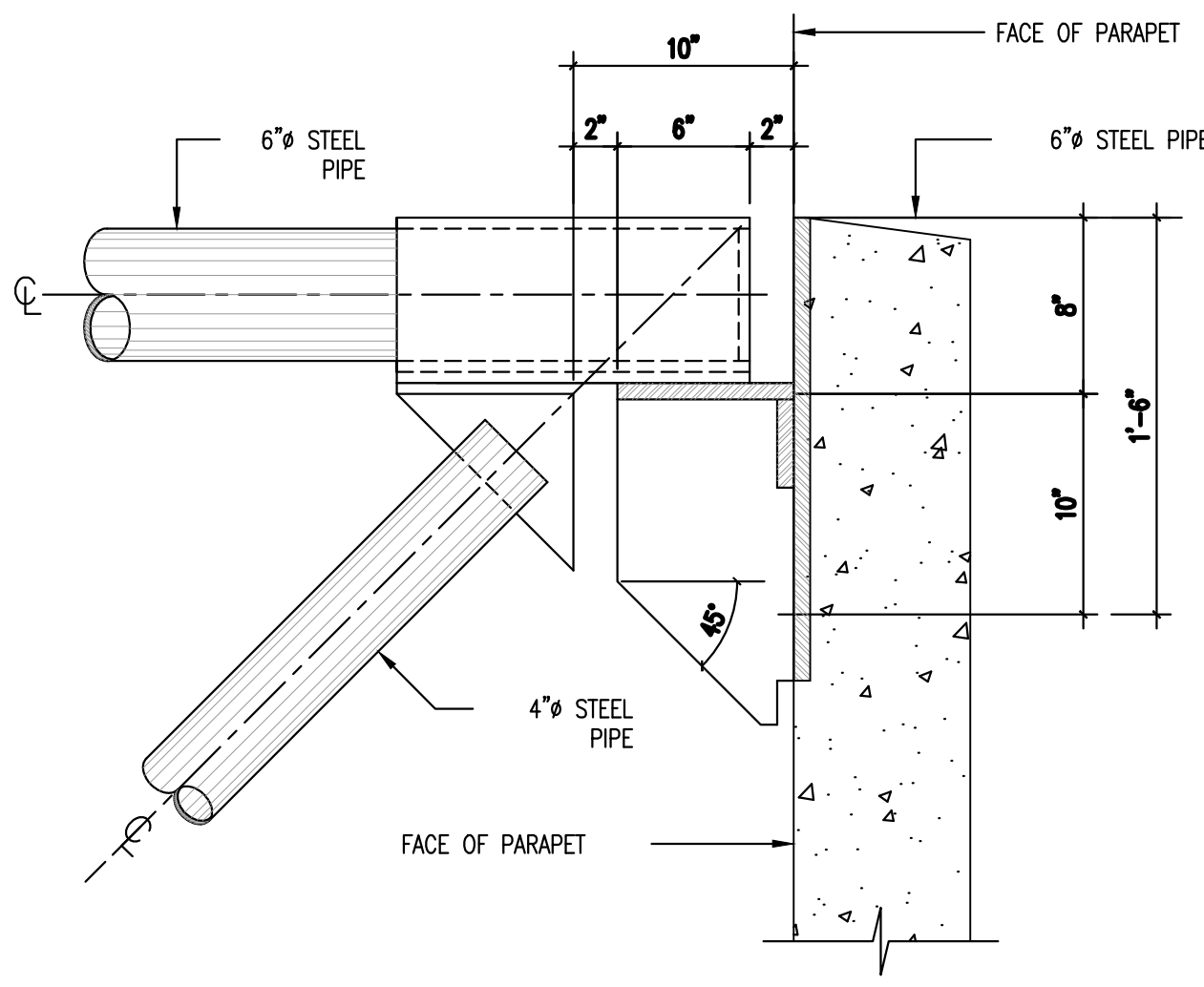
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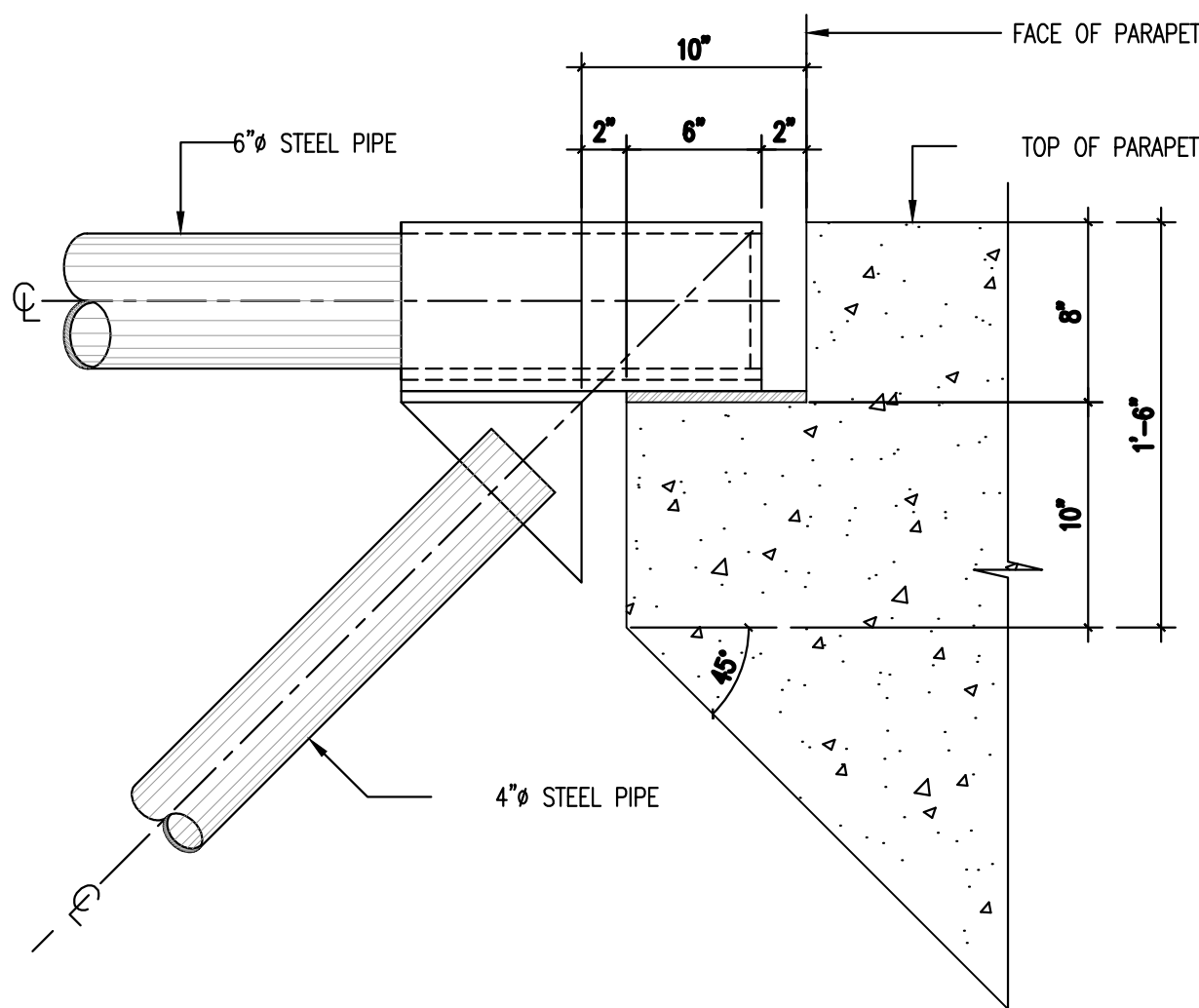
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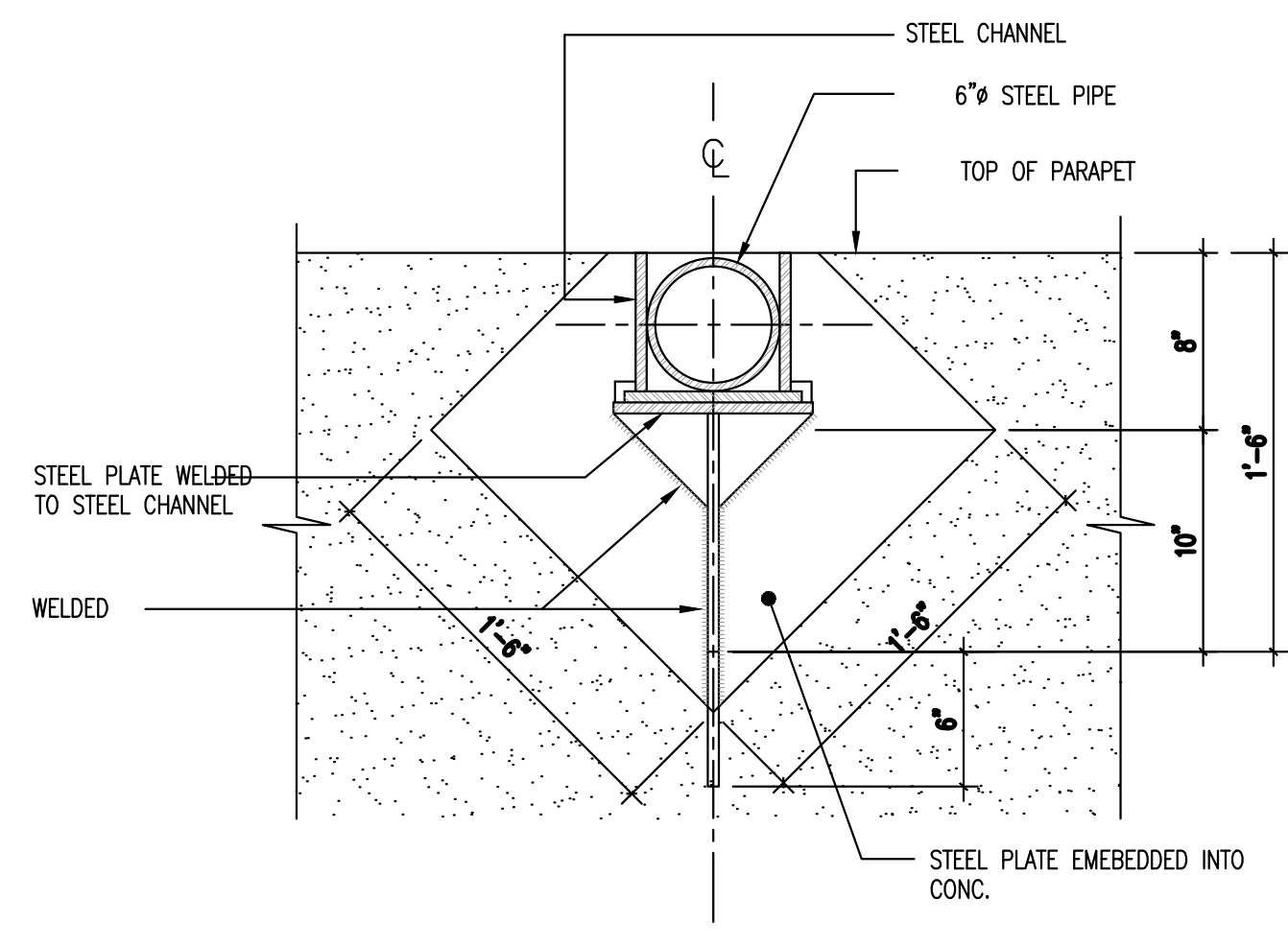
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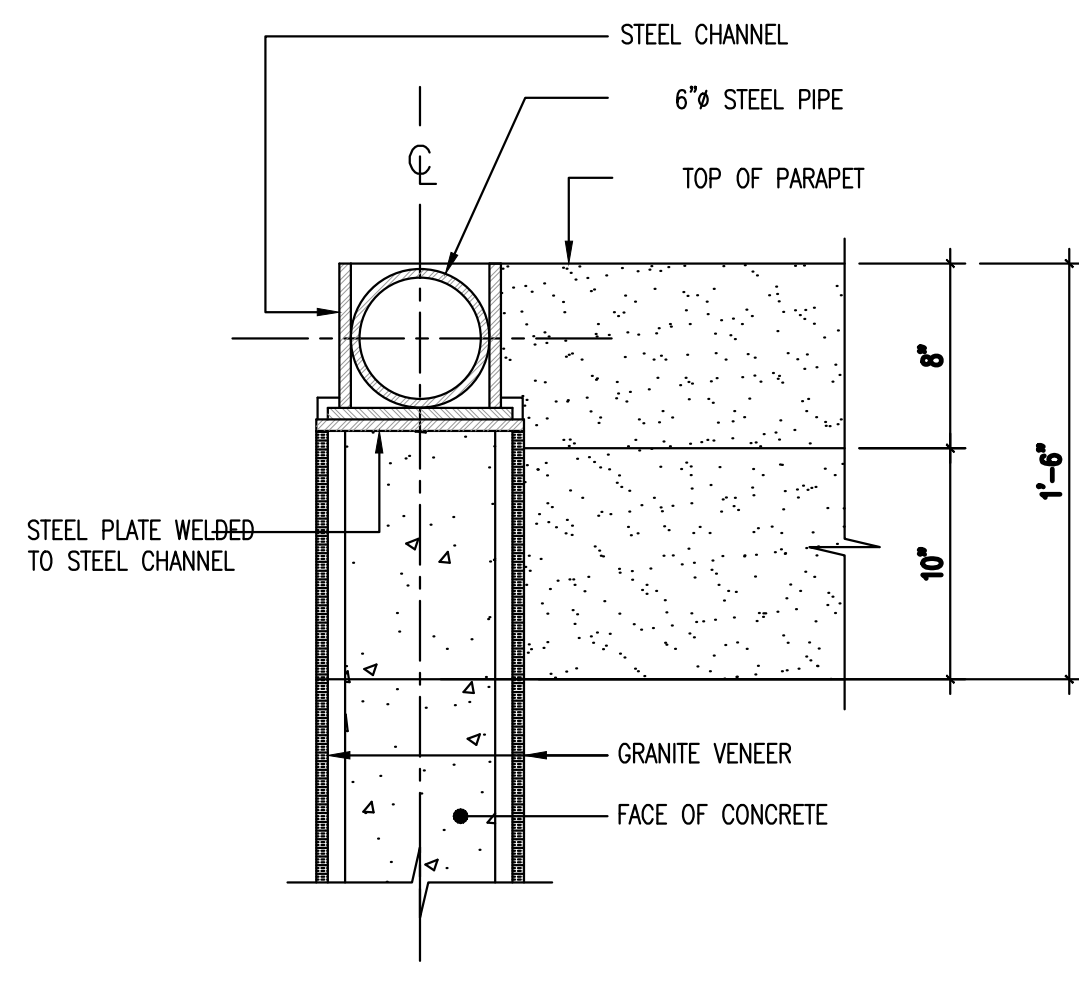
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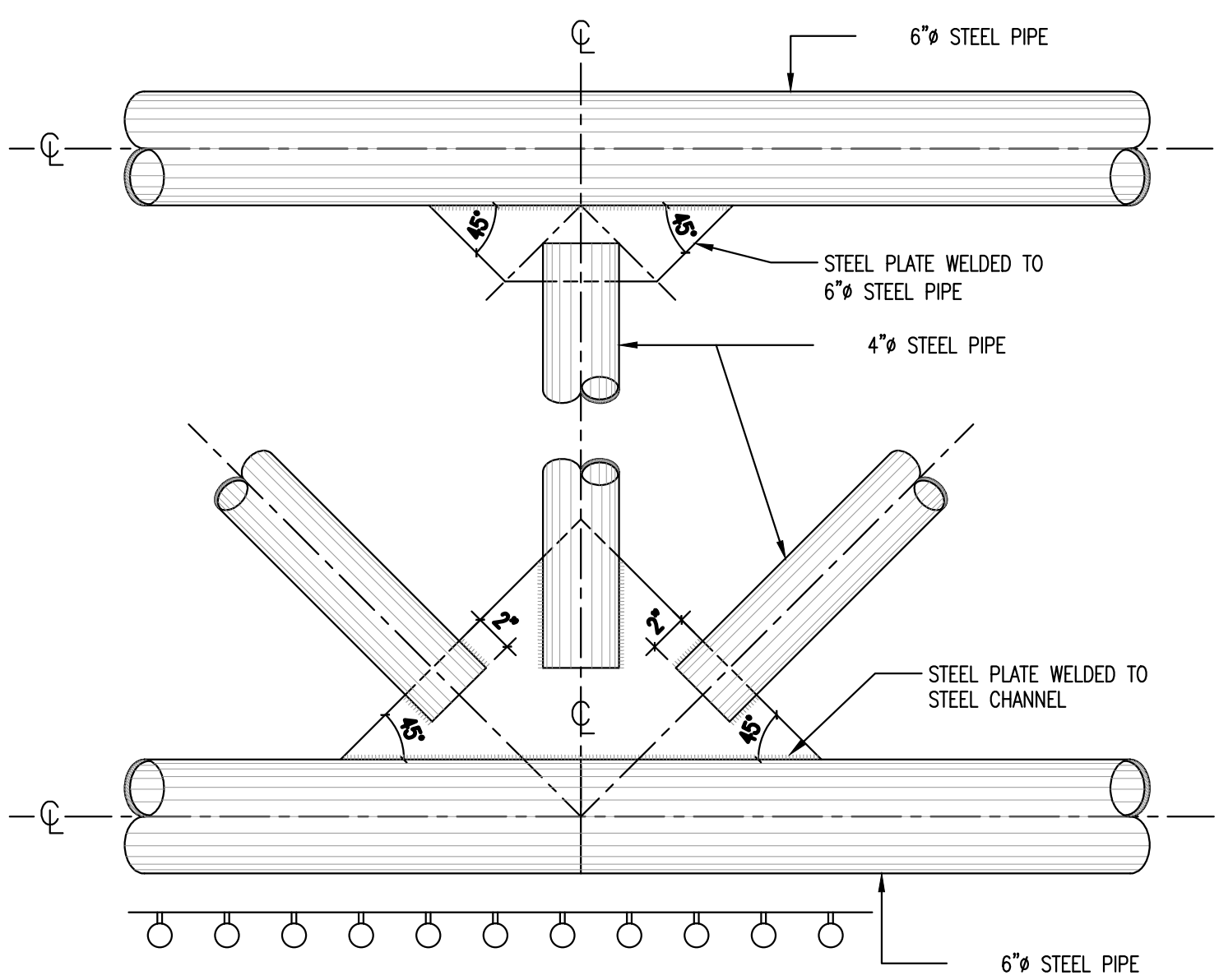
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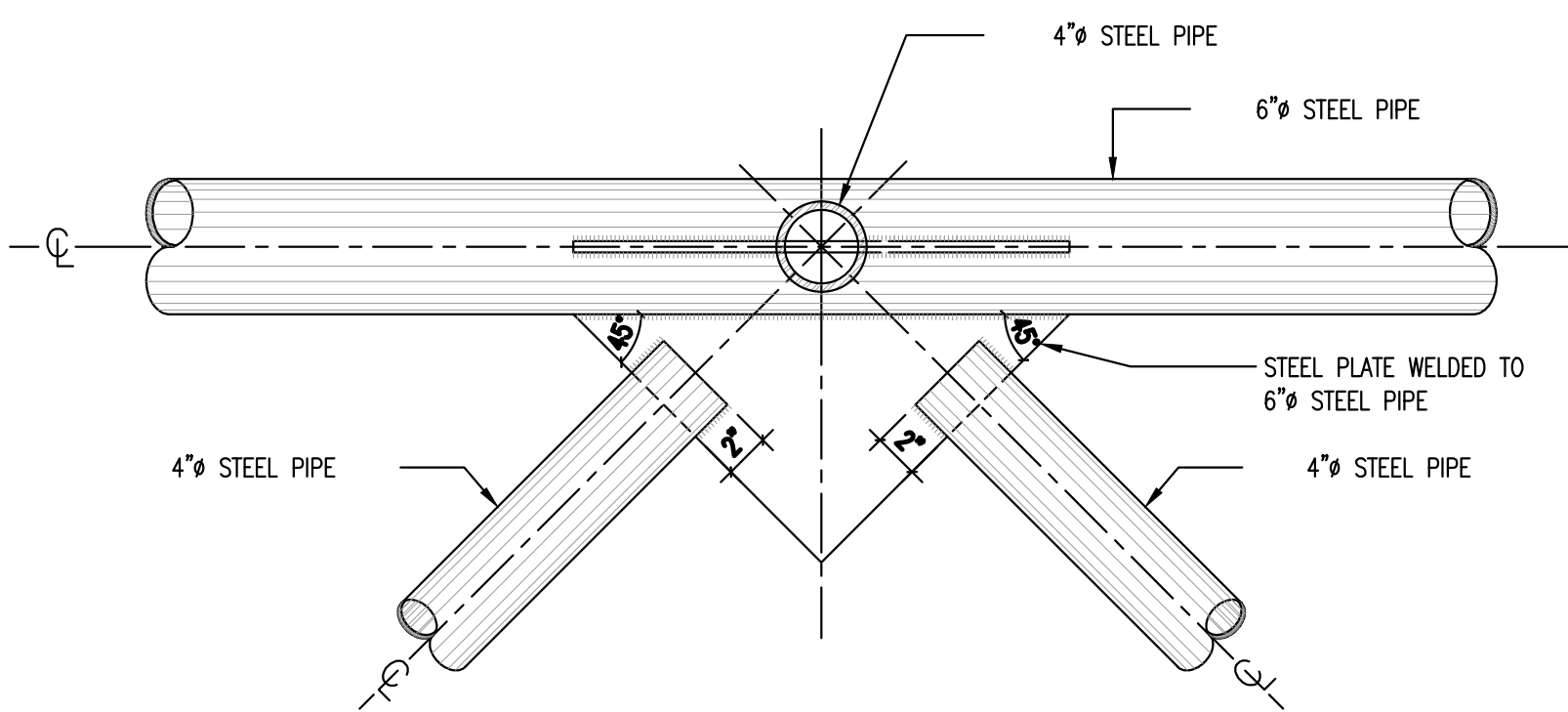
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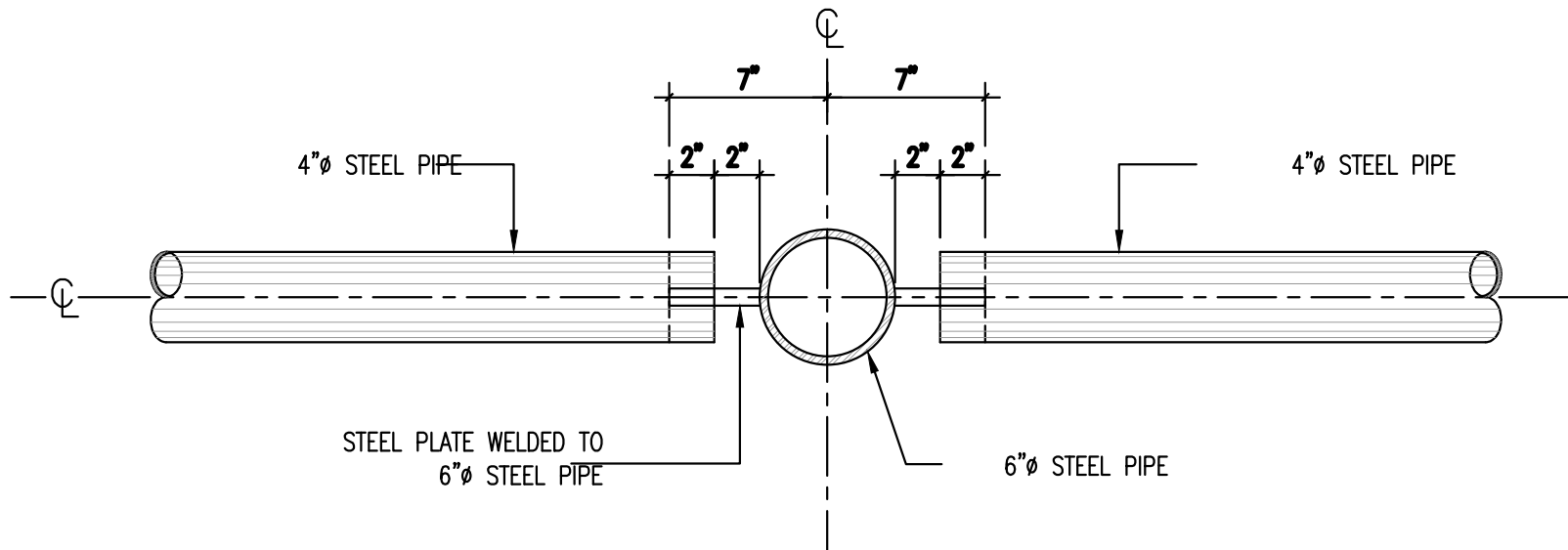
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**SECTION 9**  
SCALE: 1 1/2"=1'-0"



**SECTION 10**  
SCALE: 1 1/2"=1'-0"



**SECTION 11**  
SCALE: 1 1/2"=1'-0"

**CLIENT:**  
**PRIDCO**

**PROJECT:**  
**FOMENTO HEADQUARTERS**  
HATO RE, PUERTO RICO

**DESCRIPTION:**  
**EXISTING STRUCTURAL DETAILS**

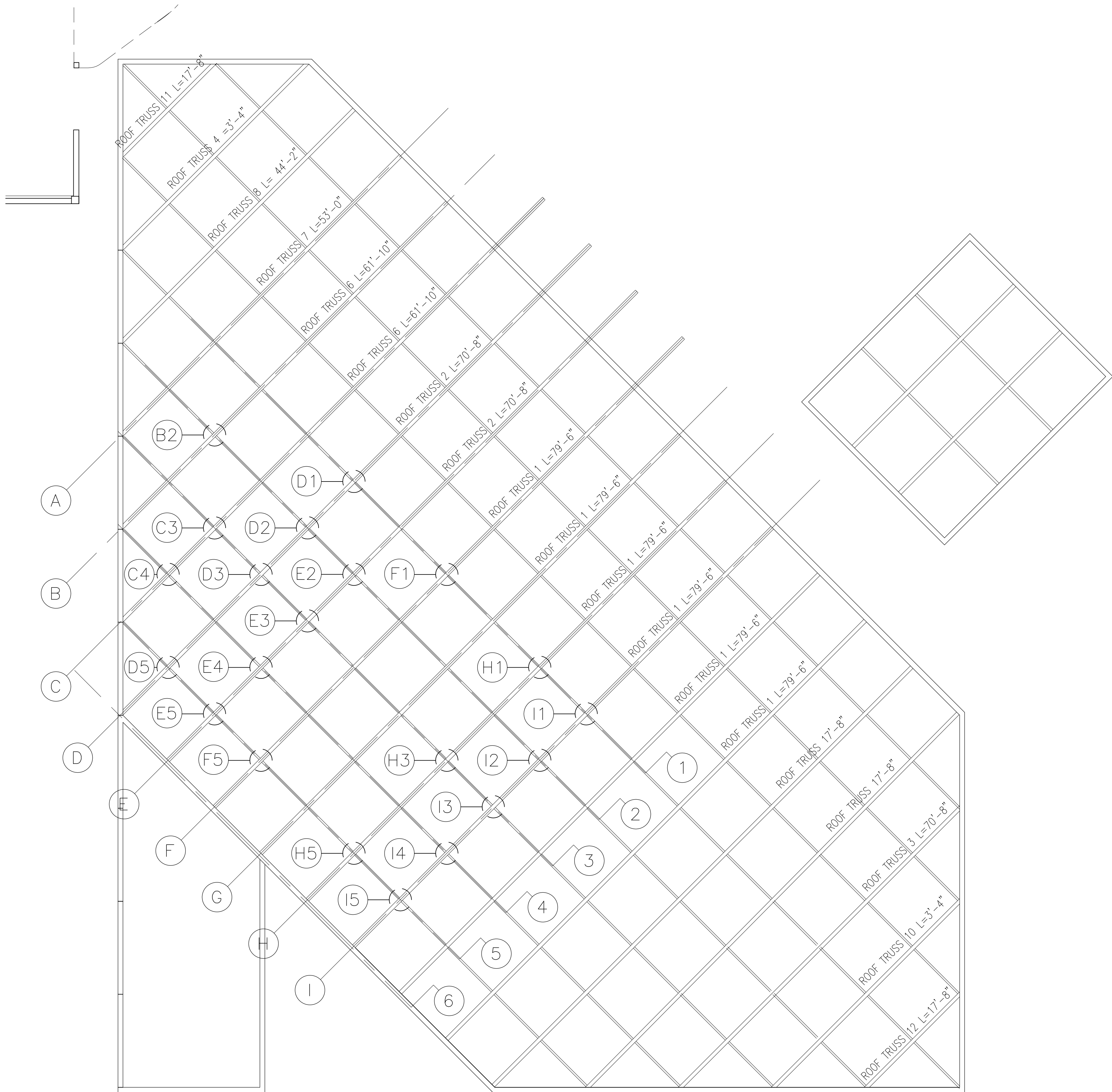
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**ISSUE:**  
**0-31-201**

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**ESG** ENGINEERING  
SERVICES GROUP, PSC

SE-





STRUCTURAL TRUSS ROOF PLAN (TO BE REPAIR)  
SCALE 1/8"=1'-0"

STEEL PLATE REPAIR TABLE	
AXIS LOCATION	ELEVATION
B2	TOP & BOTTOM
C3	BOTTOM
C4	TOP & BOTTOM
D1	BOTTOM
D2	BOTTOM
D3	BOTTOM
D5	TOP
E2	BOTTOM
E3	TOP & BOTTOM
E4	TOP
E5	TOP & BOTTOM
F1	TOP
F5	TOP
H1	TOP & BOTTOM
H3	TOP
H5	TOP
I1	TOP
I2	TOP
I3	BOTTOM
I4	TOP
I5	TOP

STEEL BEAM REPAIR TABLE	
AXIS LOCATION	ELEVATION
A1-A3	BOTTOM
A2-B2	TOP
A3-B3	TOP
B1-B4	TOP & BOTTOM
B4-C4	TOP
C1-C5	TOP & BOTTOM
D2-E2	TOP & BOTTOM
D3-E3	TOP
D5-E5	BOTTOM
E1-E6	BOTTOM
E2-F2	TOP
E5-F5	BOTTOM
F1-F6	TOP
F2-G2	TOP
G1-G6	TOP & BOTTOM
G2-H2	TOP
H1-H6	TOP & BOTTOM
H2-I2	TOP
H4-I4	TOP

CLIENT:  
**PRIDCO**

PROJECT:  
**FOMENTO HEADQUARTERS**  
HATO REY, PUERTO RICO

DESCRIPTION:  
**STRUCTURAL TRUSS  
ROOF PLAN**

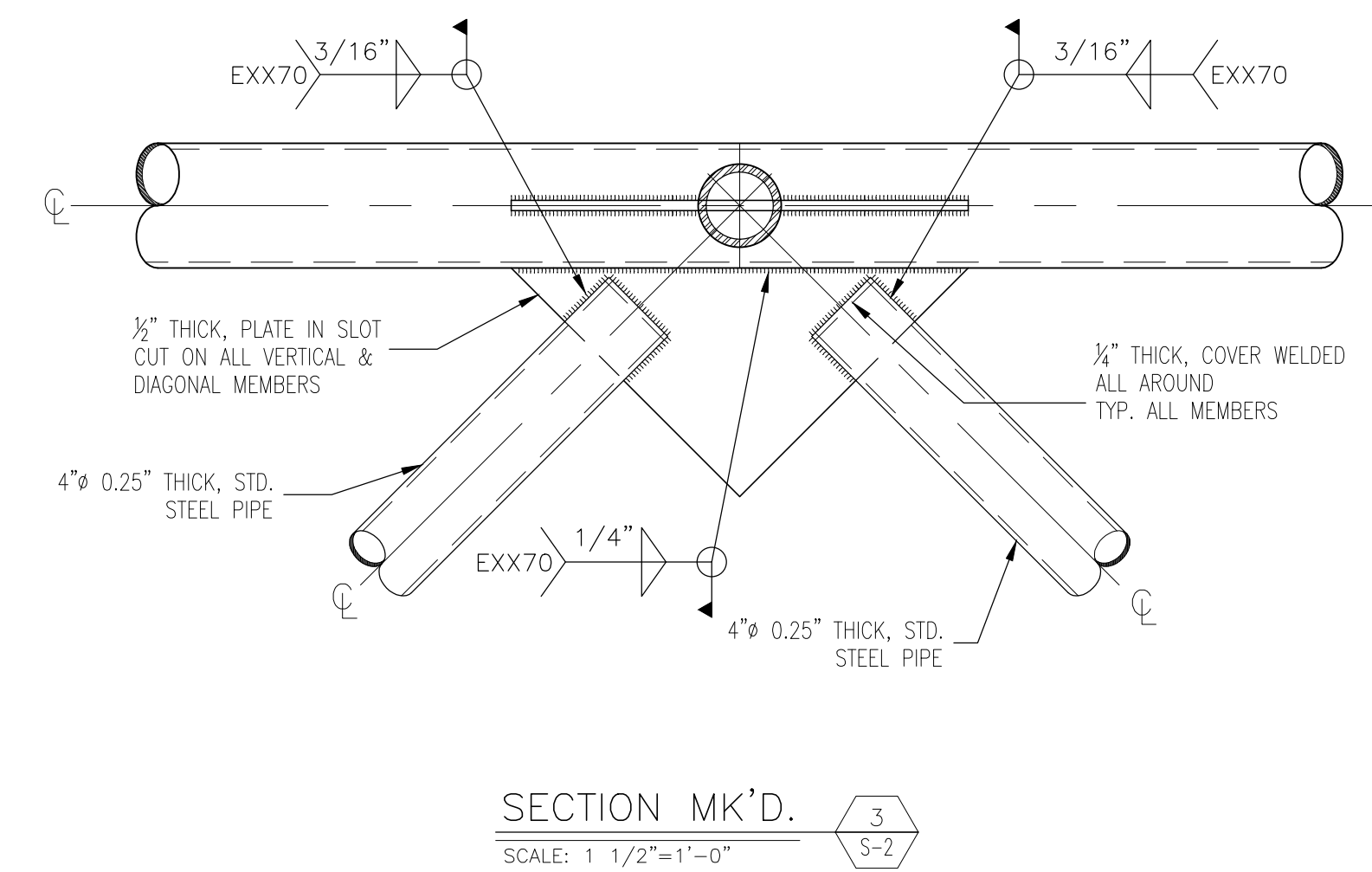
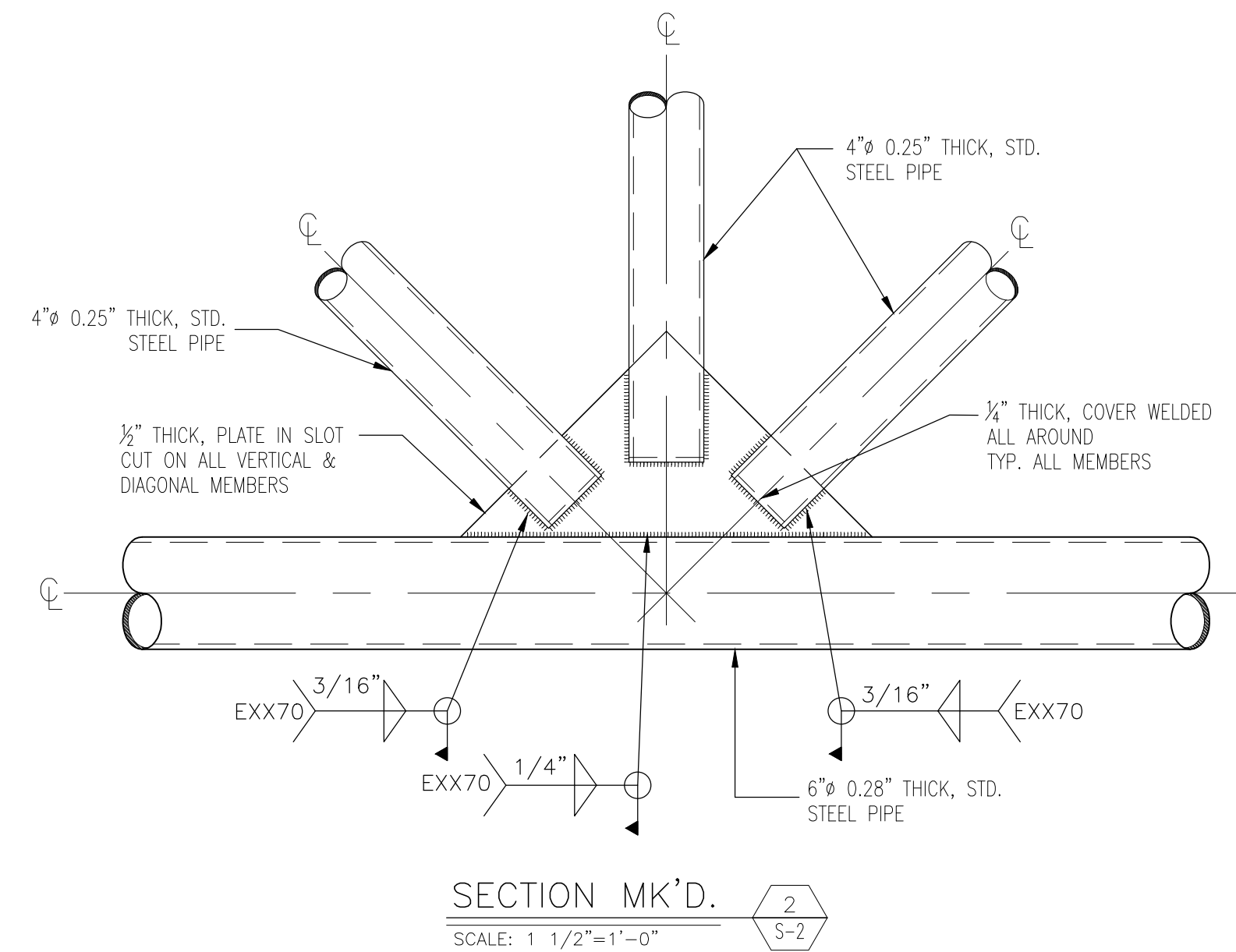
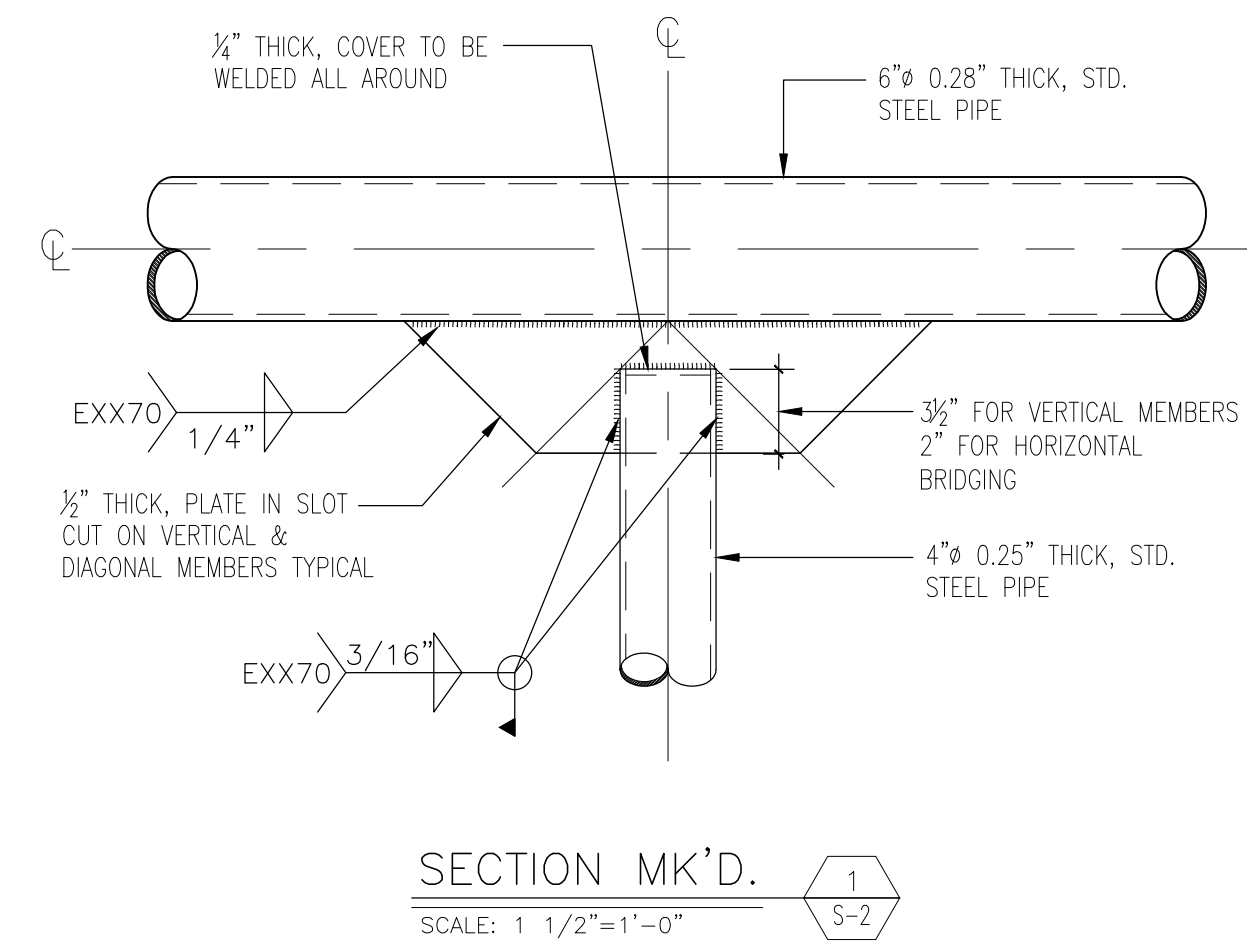
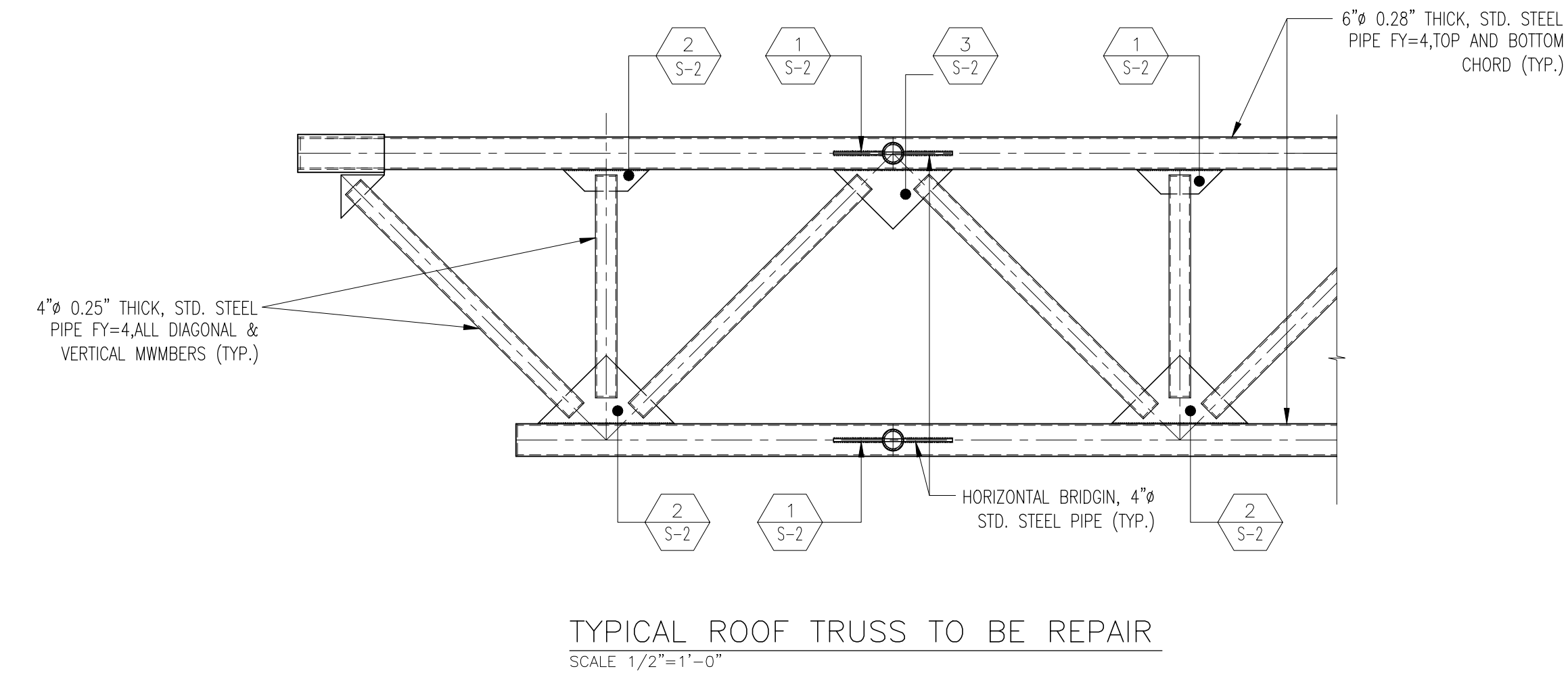
PROJECT NO.:  
**18-101**  
ISSUE:  
**04-15-2021**

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Robert Engineering Group, PSC  
Consulting Engineering  
Structural, Inspections  
& Management





# STRUCTURAL NOTES REPAIR

- STRUCTURAL PIPE SECTION OR PLATE WITH ACTIVE CORROSION SHALL BE CLEAN WITH A WIRE BRUSH OR AIR PRESSURE TO REMOVE RUST, PAINT, GREASE OR OIL.
- IF SECTIONAL AREA IS LESSER THAN 90% OF THE ORIGINAL SECTIONAL AREA REPLACE THE PLATE OR PIPE SECTION, SAME AS EXISTING. (SEE REPLACE DETAILS)
- IF SECTIONAL AREA IS GREATER THAN 90% OF THE ORIGINAL SECTIONAL AREA DO NOT REPLACE. APPLY TOP COAT OF RED OXIDE AND COLD GALVANIZED PAINTED.
- WELDS WITH ACTIVE CORROSION SHALL BE CLEAN AND WELD AGAIN, SAME AS EXISTING. (SEE REPAIR DETAILS)

CLIENT:

PRIDCO

PROJECT:

FOMENTO HEADQUARTERS  
HATO REY, PUERTO RICO

DESCRIPTION:

SECTION, DETAILS  
& NOTES

PROJECT NO.:

18-101

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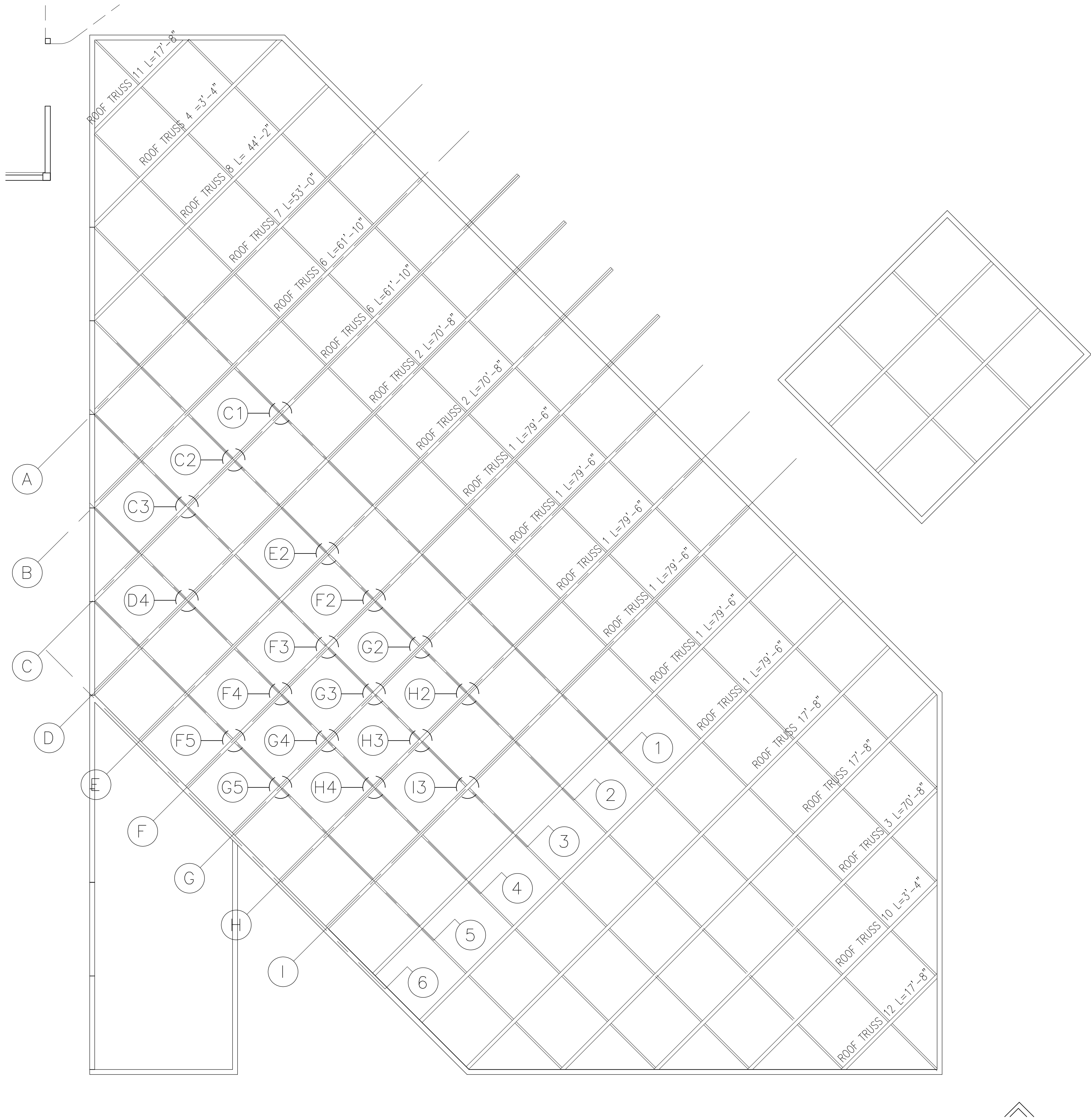
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SERVICES GROUP, PSC

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Consulting Engineering  
Structural, Inspections  
& Management

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STEEL PLATE REPLACE TABLE	
AXIS LOCATION	ELEVATION
C1	TOP
C2	TOP & BOTTOM
C3	TOP
D4	BOTTOM
E2	TOP
F2	TOP
F3	TOP
F4	TOP & BOTTOM
F5	BOTTOM
G2	TOP & BOTTOM
G3	BOTTOM
G4	TOP & BOTTOM
G5	BOTTOM
H2	TOP & BOTTOM
H3	BOTTOM
H4	TOP & BOTTOM
I3	TOP

STEEL BEAM REPLACE TABLE	
AXIS LOCATION	ELEVATION
D1-D6	BOTTOM
E4-F4	TOP
F1-F6	BOTTOM
F4-G4	TOP & BOTTOM
F5-G5	TOP
G2-H2	BOTTOM
G3-H3	BOTTOM
G4-H4	TOP & BOTTOM
H3-I3	TOP

STRUCTURAL TRUSS ROOF PLAN (TO BE REPLACE)  
SCALE: 1/8"=1'-0"



