



NOTIFICACIÓN NÚM. 1
SUBASTA FORMAL NÚM. 23J-12467
REMODELACIÓN DEL EDIFICIO CARIBE PLAZA PROPIEDAD DEL NEGOCIADO
DEL SISTEMA DE EMERGENCIAS 911, ADSCRITO AL DEPARTAMENTO DE
SEGURIDAD PÚBLICA DEL GOBIERNO DE PUERTO RICO

ASUNTO: Respuestas a las Preguntas.

A todos los licitadores interesados en participar de la subasta de referencia se les notifica la siguientes preguntas y respuestas:

LICITADOR: AIREKO

I. General:

- 1) We respectfully request a time extension, of at least three weeks, for the bid due date.

Answer: See amendment No. 4.

- 2) Furthermore, we also respectfully request a time extension to submit questions.

Answer: See amendment No. 4

- 3) Will the project be federally funded?

Answer: The 9-1-1 Emergency System Bureau operates with autonomous funds. These are not federal funds.

II. Architectural:

- 4) Please provide the hardware schedule.

Answer: See sheets A-4.01, A-4.21, A-4.31, A-4.42, A-4.52, A-4.62, A-4.71 as amended.

- 5) Please indicate which type is door MKD. 200. It is not included in the door schedule found on page A-4.21.

Answer: See sheet A-4.21 as amended.

- 6) Please confirm the door types for MKD. 501 & 502. Page A-4.51 indicates that they are VI & VII respectively, but the floor plan found on page A-4.50 represents otherwise.

Answer: See sheets A-4.50 and A-4.51 as amended.



- 7) Please confirm the door type for MKD. 626. Page A-4.61 indicates that it is VI, but the floor plan found on page A-4.60 represents otherwise.

Answer: See sheets A-4.60 and A-4.61 as amended.

- 8) Please provide the door, window and finish schedule for the roof level.

Answer: See sheets 4.70 and 4.71 as amended.

- 9) Please confirm what door type “EX” stands for.

Answer: The reference “EX” is used to indicate an “existing door”.

- 10) Also, confirm what to do with the ‘sidelites’ next to them in the cases that apply.

Answer: They would be the panels that contain the existing doors, which are also “to remain”.

- 11) Please confirm if the fixed glass panel next to door MKD. 005 (door type V), has a vertical division. The floor plan found on page A-4.00 shows that it does, while the door type detail found on page A-4.82 represents otherwise.

Answer: See sheets A-4.00 and A-4.82 as amended.

- 12) Please confirm which type of office front is MKD. A-1 from the fifth floor (please refer to pages A-4.50 & A4.51).

Answer: See sheets A-4.50, A-4.51 and A-4.83 as amended.

- 13) Please confirm if the office front represented on room #625 from page A-4.60 is type I. It is not included in the schedule from page A-4.61, but it is represented in the floor plan.

Answer: See sheets A-4.60, A-4.61 and A-4.83. The “office front” B-6 is attached and appears in the Schedule on sheet A-4.61 as amended.

- 14) Please confirm that the existing glass in the store-fronts is as follows:

- (1) For the aluminum curtain wall system 1600 by Kawneer: 7/16”.

Answer: See sheets A-200 to A-260 & A-300 to A-330 as amended.

- (2) For the aluminum curtain wall system 2250 by Kawneer: 5/16”.

Answer: See sheets A-200 to A-260 & A-300 to A-330 as amended.



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- (3) The replacement glass is specified with clear & gray finish. Does this mean that the different finishes must create a pattern in the buildings elevation? If so, please provide a pattern to follow.

Answer: It would not be a pattern, the "glass" is made up of several sheets. An inner "clear" sheet and an outer "gray" one.

- 15) Please provide specifications for the overhead coiling doors, such as: quantity, dimensions, model, etc. This question refers to the 'roll-up door', identified on plan 'A-4.00' as 'R-1'. In the 'site visit' we were able to see its current condition. We need the dimensions and the model you require to replace it.

Answer: Rolling door size: 20 feet tall, 10 feet wide. See sheets X-2.00, X-3.10, A-2.00, A-3.10, A-4.00, A-4.01 as amended. The R-1 door type "Roll up door" is dimensioned in the reference sheets. The final dimensions of doors and windows must be checked on site. Information about the "Roll-up door" is attached.

Upward-Coiling Security Grille shall be equal or approved equal as manufactured by Overhead Door™ Distributors Type: EverServe™ Springless Security Grille Model 671S.

Features at a glance but not limited to:

Operation: Electric operator, chain hoist, removable awning crank or crank box. Electric operator with automatic emergency egress (670, 671); compliant with IBC 1008.1.4.4 & NFPA 101.

Safety Devices: Monitored electric sensing edge; additional set of photoelectric sensors. • Bottom sensing edge – stops and reverses the door upon contact with an obstruction. • Safe-T-Beam® – senses an obstruction and signals the operator to stop or reverse the door

Material/Finish 670: aluminum clear anodized.

Pattern: straight lattice (standard).

Bottom bar: Extruded aluminum clear anodized. Shall be conformed to sidewalk angle.

Guide type: Guide channels are extruded aluminum with continuous wear strips clear anodized;

Mounting Interior face of wall is standard jamb option available.

Brackets Steel with black powdercoat finish.

Pipe Steel sized for maximum deflection of .03" per linear foot.

Locking 670/671: Slide bolt for manual and crank operation; chain lock for chain hoist operation 674: Center locking bottom bar, with 1/2" diameter steel throw rods; Comes standard with cylinder locks on both sides or thumb turn on secured side.

Control Panel: IP65 (NEMA 4/4X equivalent) control panel

Actuators: Push buttons, loop detectors, radio control, motion detectors or any combination thereof available for door operation/control.

The contractor shall submit shop drawings for approval.

- 16) Does 'white glass' for the interior doors refer to 'frosted' finish?

Answer: Yes, the term "white glass" refers to a "frosted" or frosted glass finish. See sheets A-4.01, A-4.21, A-4.31, A-4.42, A-4.52, A-4.62, A4.71 as amended. In each Door Schedule by level the type of door is specified in reference to sheet A-4.82 where it is specified where the "White glass color" or "clear glass".



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III. Electrical:

- 17) Please confirm if pages E-801 & E-802 from the floor plans were intentionally left blank

Answer: Yes.

IV. Architectural:

- 18) Please clarify the following note: “new concrete topping leveled to the new finish floor level”, found in the finish floor plans from the 2nd to the 6th floors. Will this area be exposed or does it need to have the same floor finish as the rest of the adjacent spaces? If it must be exposed, should a transition element be considered between the two floor finishes?

Answer: The area will not be exposed and must have the same floor finish as the adjacent areas. It is not necessary to consider a transition element between the two floor finishes.

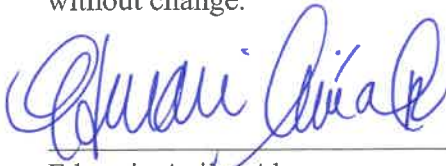
- 19) Please confirm the following room numbers:
(1) 205 – Office #1
(2) 206 – File Room
(3) There is a discrepancy between the floor plan found on page A-4.20 & the finish schedule from page A-4.21.

Answer: See sheets A-4.20 and A-4.21 as amended.

- 20) Which floor finish corresponds to room number 216: F-3 or F-14? (Please refer to page A-4.21.)

Answer: The floor finish that applies to #216 is F-3. On sheet A-4.21 you will find the changes made.

This notification is part of the auction specifications and those who are interested in bidding will have to consider it when submitting their offer. All other terms, conditions and specifications will improve without change.



Edmarie Aviles Almenas

Secretaria

Junta de Subastas

Emitida hoy, 3 de julio de 2023.

En San Juan, Puerto Rico



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