# INDEX OF DRAWINGS:

## GENERAL

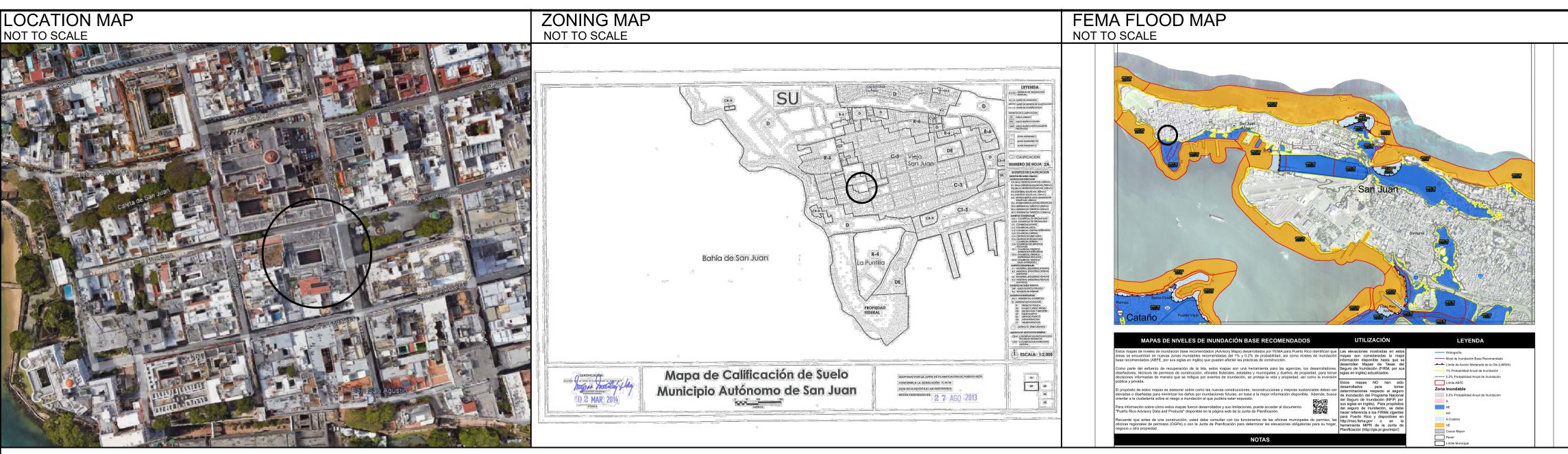
# **EXISTING CONDITIONS**

D-1.1	EXISTING FIRST LEVEL FLOOR PLAN (FOR REFERENCE ONLY)
D-1.2	EXISTING SECOND LEVEL FLOOR PLAN (FOR REFERENCE ONLY)
D-1.3	EXISTING THIRD LEVEL FLOOR PLAN (FOR REFERENCE ONLY)
D-1.3a	EXISTING FOURTH LEVEL FLOOR PLAN (FOR REFERENCE ONLY)

**EXISTING & DEMOLITION ROOF LEVEL PLAN** D-1.4

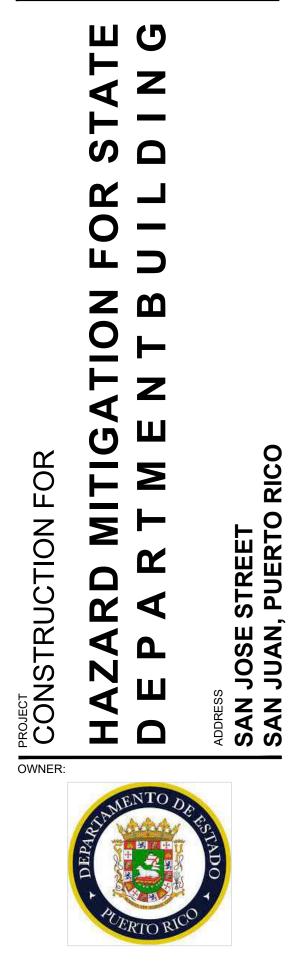
# PROPOSED

FRUF	USED
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A-1.2	STEEL STANDS & A/C EQUIPMENT ANCHORAGE DETAILS
A-2.0a	EXISTING WINDOWS & LOCKING HARDWARE & PROPOSED LOCKING HARDWARE
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# HAZARD MITIGATION FOR STATE **DEPARMENT BUILDING CONSTRUCTION DRAWINGS**





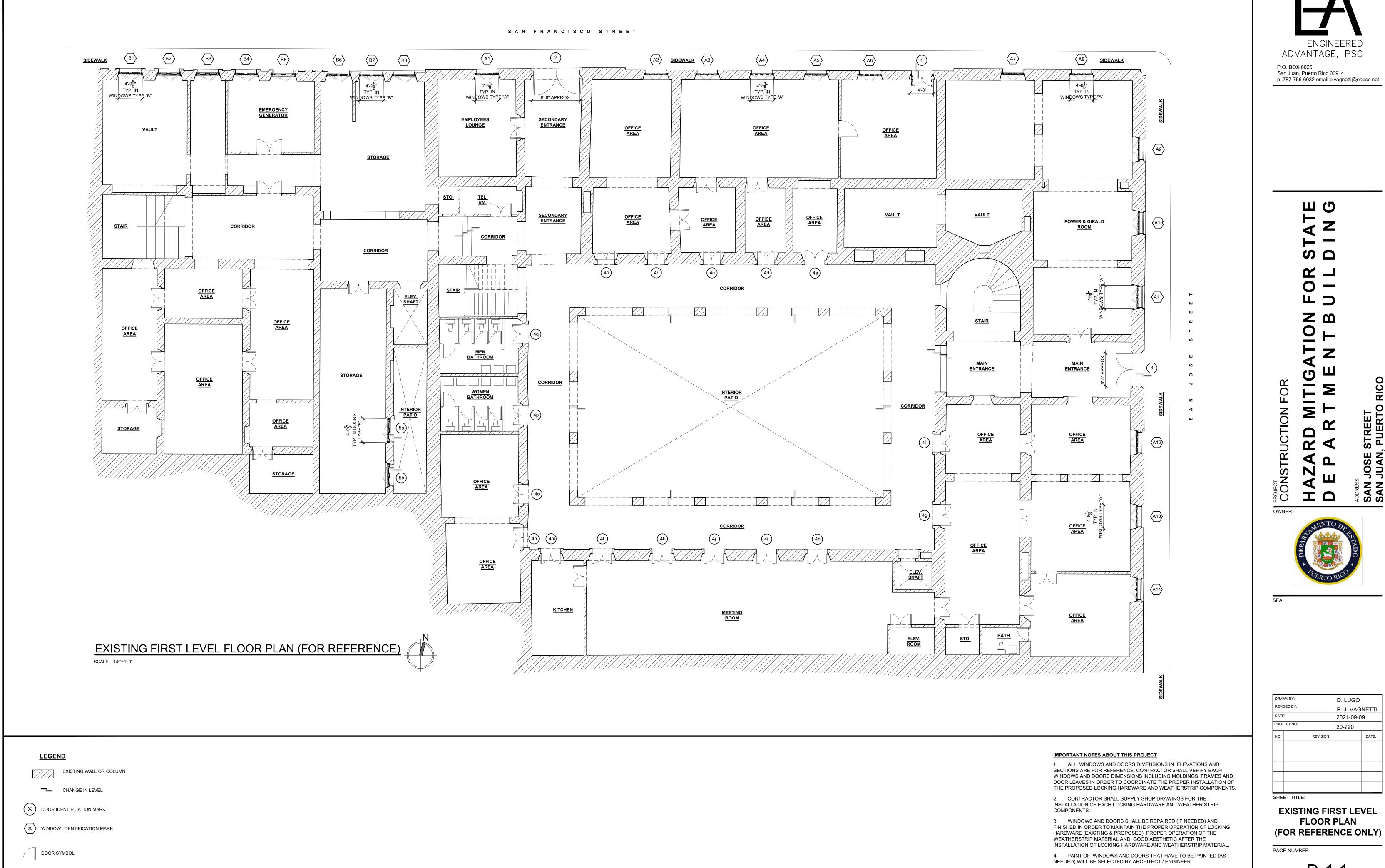
SEAL:

DRAV	VN BY:	D. LUGO
REVIS	SED BY:	P. J. VAGNETTI
DATE	:	2021-09-09
PROJ	ECT NO:	20-720
NO.	REVISION	DATE.

TITLE SHEET

PAGE NUMBER

T-1.0



5. EXISTING FLOOR PLANS ARE FOR REFERENCE ONLY AND FOR THE PROPER IDENTIFICATION AND LOCATION OF EACH DOOR AND WINDOW.

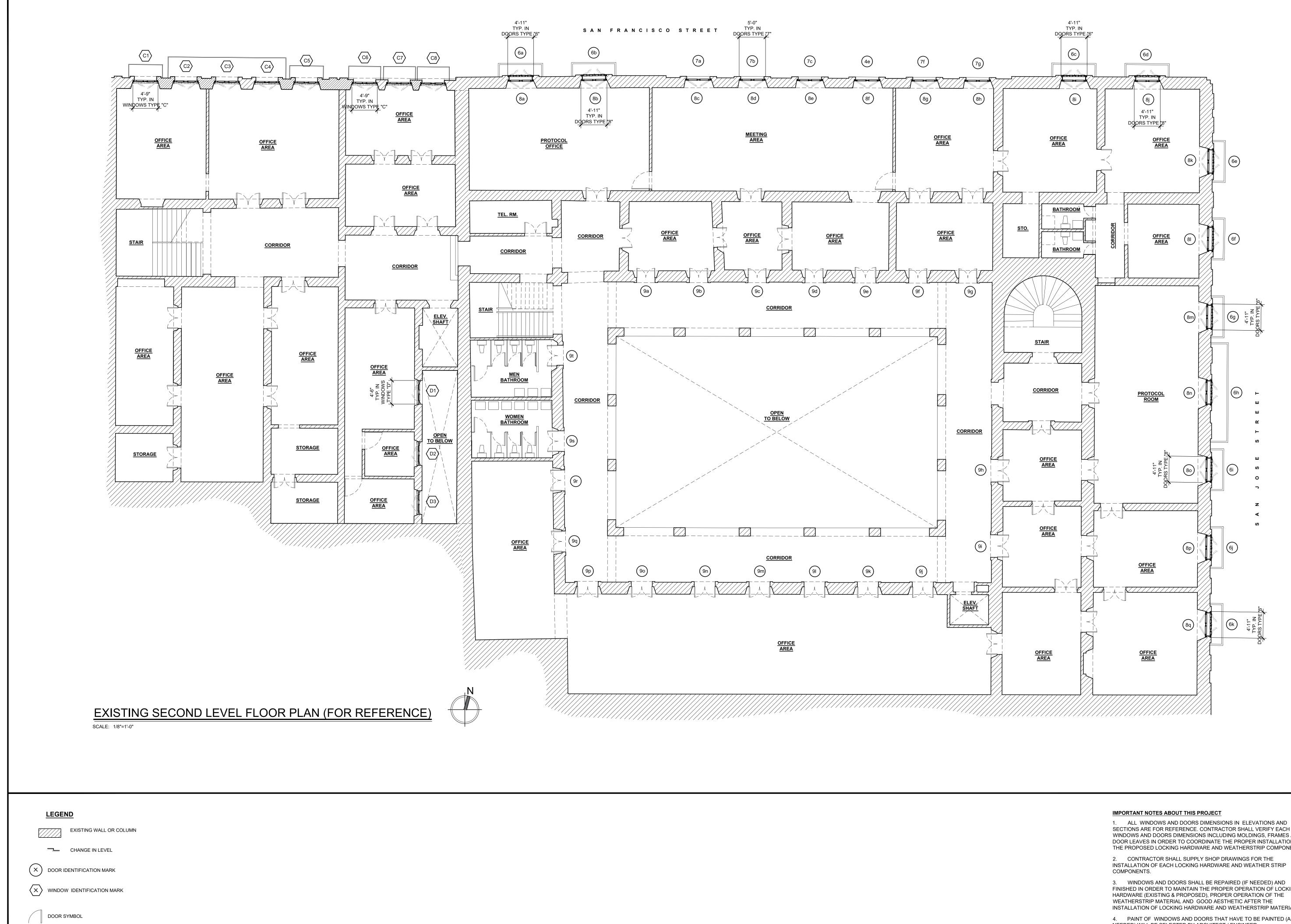
D-1.1

RICO

E STREET N, PUERTO

ADDRESS SAN JOSE SAN JUAN

DATE.



ENGINEERED ADVANTAGE, PSC P.O. BOX 6025 San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net ШС Ζ ۵ **S D** R  $\mathbf{O}$ Z M Ο Ζ RICO FOR FΣ E STREET N, PUERTO -Σ RUCTION R 4 Ľ ADDRESS SAN JOSE SAN JUAN PROJECI ш T OWNER:

SEAL:

DRAWN BY D. LUGO REVISED BY: P. J. VAGNETTI DATE: 2021-09-09 PROJECT NO: 20-720 REVISION DATE. SHEET TITLE:

**EXISTING SECOND LEVEL** FLOOR PLAN (FOR REFERENCE ONLY)

PAGE NUMBER

D-1.2

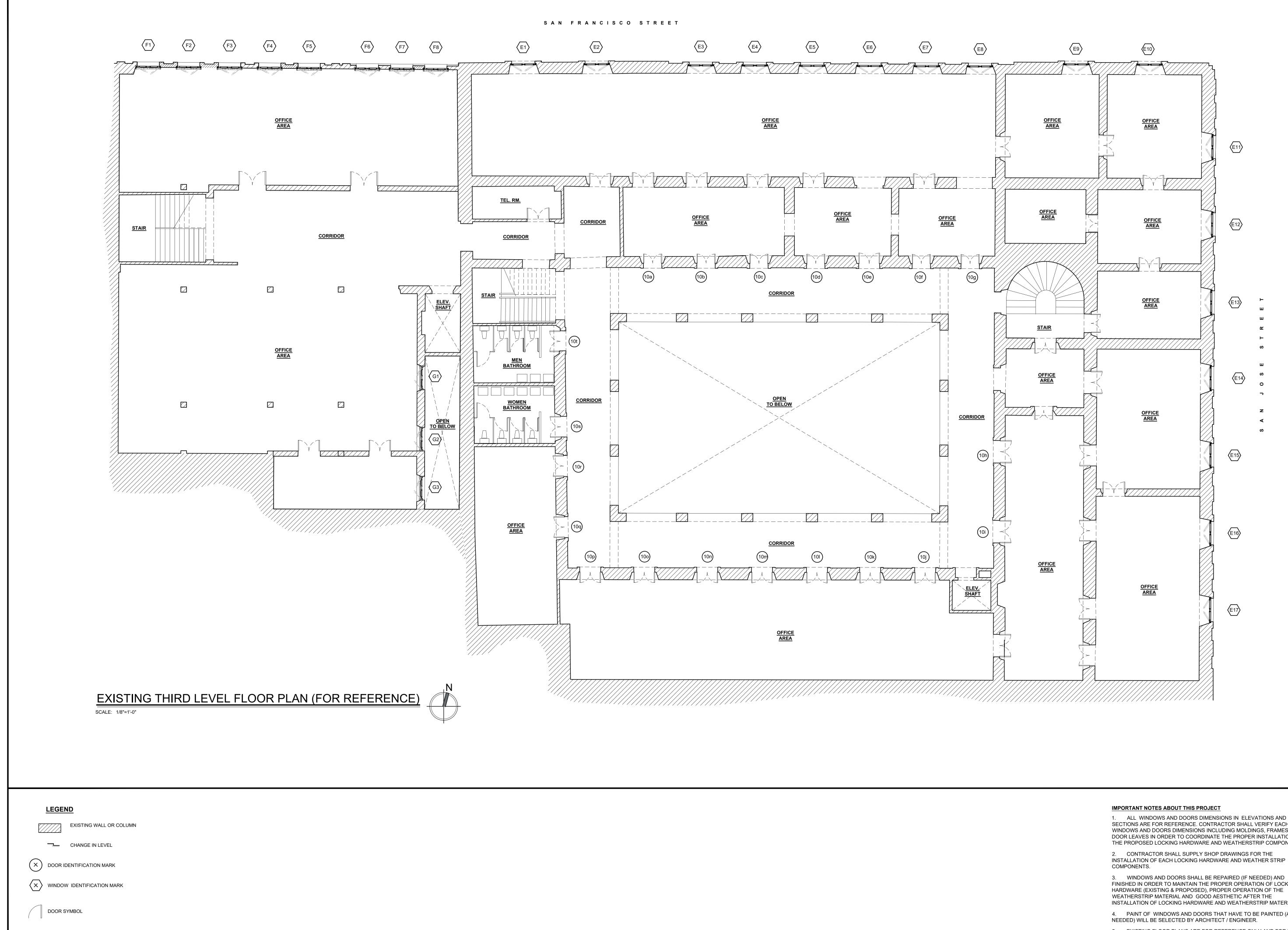
SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH WINDOWS AND DOORS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.

INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP

FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER OPERATION OF THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.

4. PAINT OF WINDOWS AND DOORS THAT HAVE TO BE PAINTED (AS NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.

5. EXISTING FLOOR PLANS ARE FOR REFERENCE ONLY AND FOR THE PROPER IDENTIFICATION AND LOCATION OF EACH DOOR AND WINDOW.



ENGINEERED ADVANTAGE, PSC P.O. BOX 6025 San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net

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RICO

SEAL:

DRAWN BY: D. LUGO REVISED BY: P. J. VAGNETTI DATE: 2021-09-09 PROJECT NO: 20-720 REVISION DATE. NO. SHEET TITLE:

EXISTINGTHIRD LEVEL FLOOR PLAN (FOR REFERENCE ONLY)

PAGE NUMBER

D-1.3

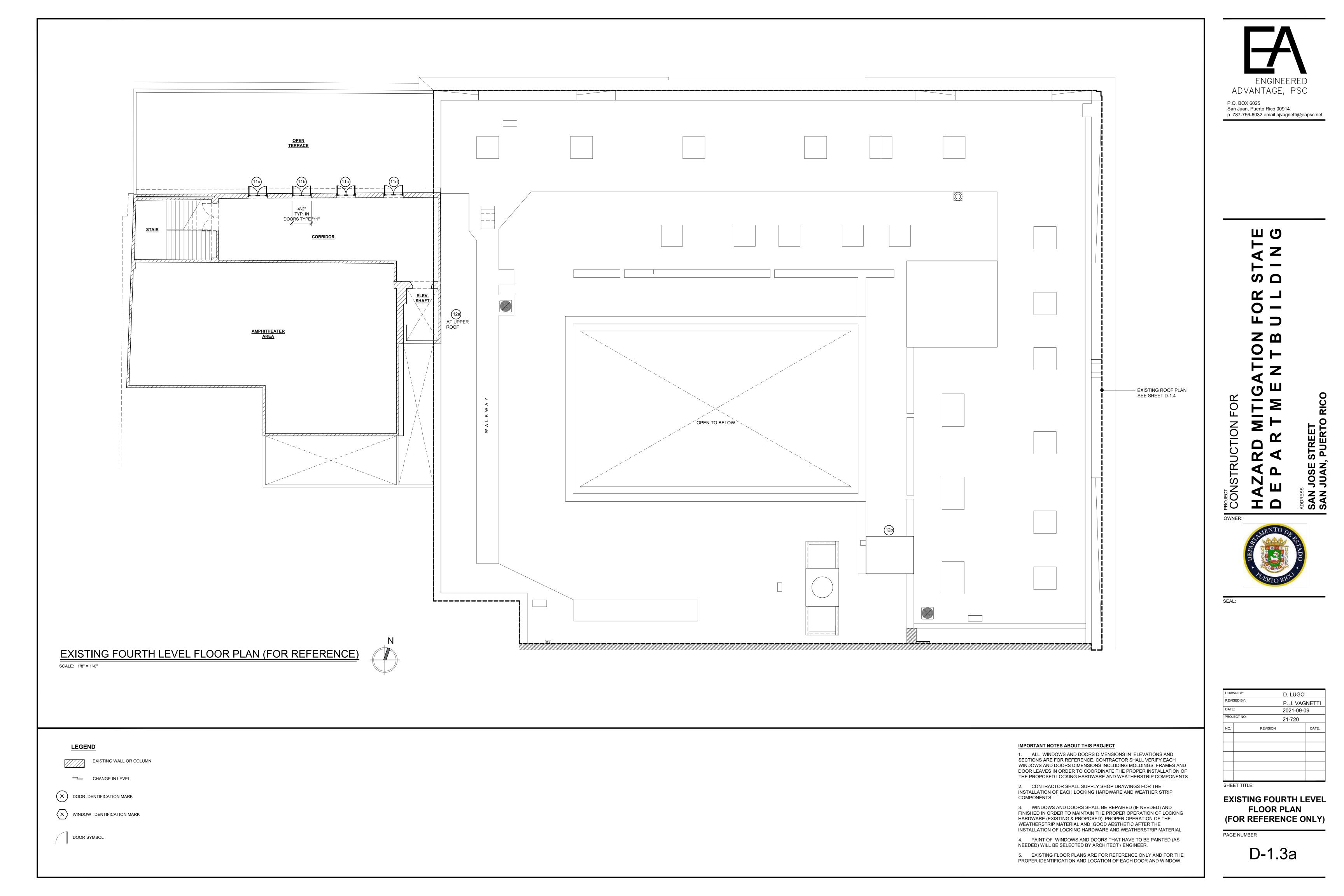
1. ALL WINDOWS AND DOORS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH WINDOWS AND DOORS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.

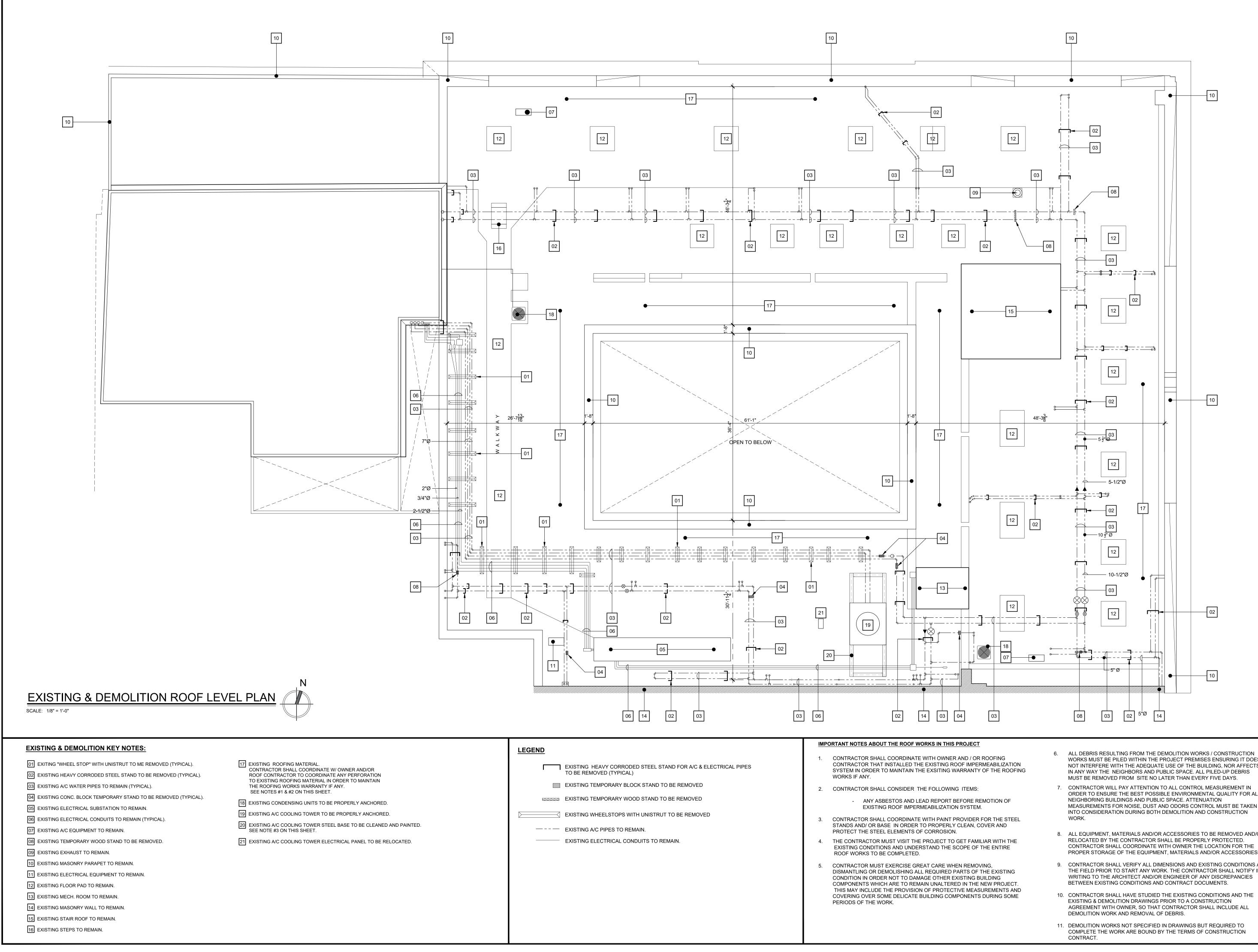
INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP

FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER OPERATION OF THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.

4. PAINT OF WINDOWS AND DOORS THAT HAVE TO BE PAINTED (AS

5. EXISTING FLOOR PLANS ARE FOR REFERENCE ONLY AND FOR THE PROPER IDENTIFICATION AND LOCATION OF EACH DOOR AND WINDOW.



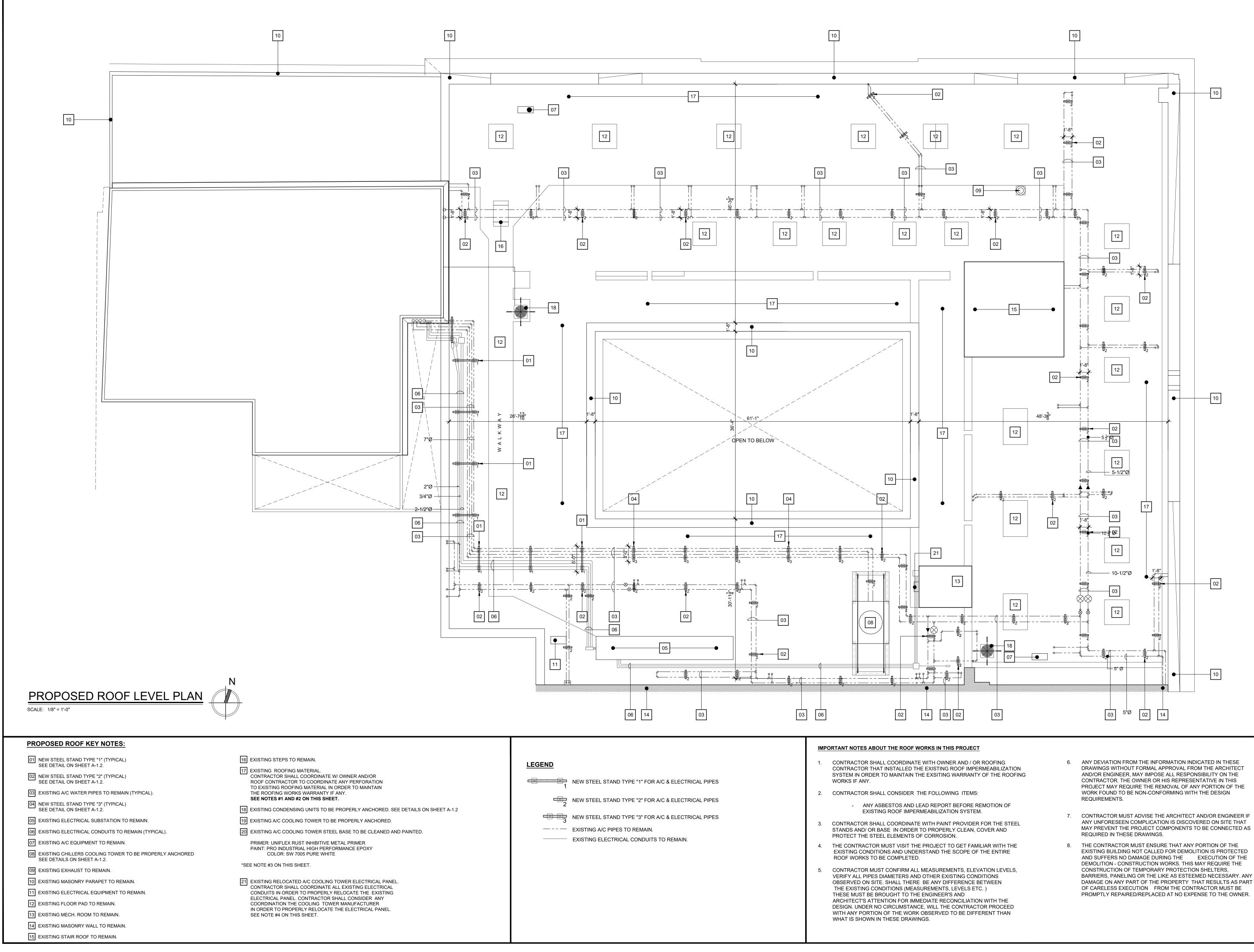


- WORKS MUST BE PILED WITHIN THE PROJECT PREMISES ENSURING IT DOES NOT INTERFERE WITH THE ADEQUATE USE OF THE BUILDING, NOR AFFECTS IN ANY WAY THE NEIGHBORS AND PUBLIC SPACE. ALL PILED-UP DEBRIS
- ORDER TO ENSURE THE BEST POSSIBLE ENVIRONMENTAL QUALITY FOR ALL MEASUREMENTS FOR NOISE, DUST AND ODORS CONTROL MUST BE TAKEN INTO CONSIDERATION DURING BOTH DEMOLITION AND CONSTRUCTION
- 8. ALL EQUIPMENT, MATERIALS AND/OR ACCESSORIES TO BE REMOVED AND/OR CONTRACTOR SHALL COORDINATE WITH OWNER THE LOCATION FOR THE PROPER STORAGE OF THE EQUIPMENT, MATERIALS AND/OR ACCESSORIES.
- 9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE FIELD PRIOR TO START ANY WORK. THE CONTRACTOR SHALL NOTIFY IN WRITING TO THE ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES
- AGREEMENT WITH OWNER, SO THAT CONTRACTOR SHALL INCLUDE ALL

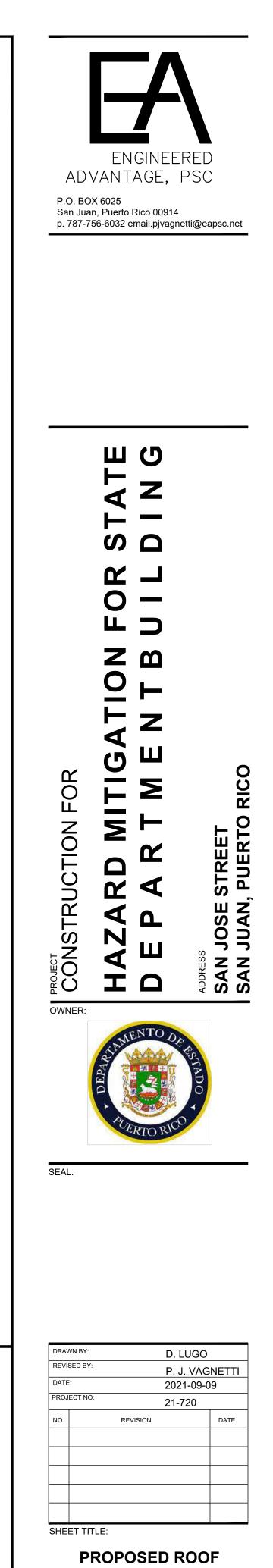
- ENGINEERED ADVANTAGE, PSC P.O. BOX 6025 San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net ШО Ζ S Ш Ζ OR RICC FΣ E STREET N, PUERTO ⊢ TION Σ Ľ SUC. 4 2 JUAI Ω PROJECT Ν ш SAN SAN SAN IΩ OWNER: SEAL: DRAWN BY: D. LUGO REVISED BY: P. J. VAGNETTI DATE: 2021-09-09 PROJECT NO: 21-720 REVISION DATE.
  - SHEET TITLE:

**EXISTING & DEMOLITION ROOF** LEVEL PLAN

D-1.4

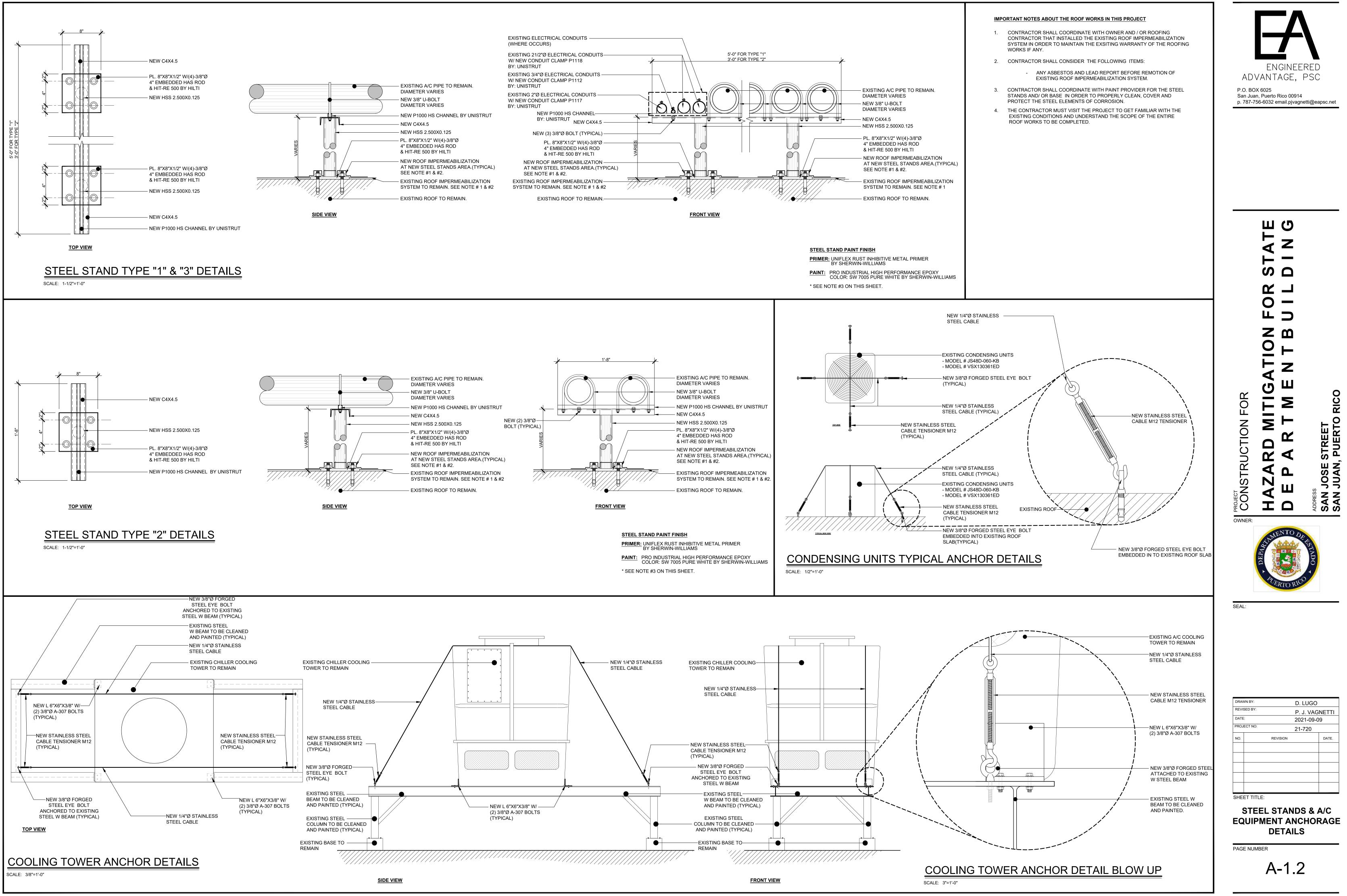


- BARRIERS, PANELING OR THE LIKE AS ESTEEMED NECESSARY. ANY DAMAGE ON ANY PART OF THE PROPERTY THAT RESULTS AS PART



LEVEL PLAN

A-1.1



	EXISTING WINDOWS & LOCKING HARDWARE & NEW LOCKING HARD																						
		EXISTING WINDOWS & LOCKING HARDWARE & NEW LOCKING HA																					
	MKD	ROUGH OP	ENING SIZE													-	FRAME		REMARKS				
				WIDTH	HEIGHT	тніск	MAT.	VERTICA	L LOCKING	HORIZONT	AL LOCKING	VERTICA	L LOCKING	HORIZONTA	L LOCKING								
		<b>WIDTH</b> (APPROX.)	HEIGHT (APPROX.)	(APPROX.)	(APPROX.)			TOP	BOTTOM	DE\ TOP	BOTTOM	TOP	BOTTOM	DEVICES (BAR	BOTTOM	MAT.	JAMB	HEAD					
	(A1)	4'-8 <sup>1/16</sup> "	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	2	2			2	2			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5" SHEET A-2 6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	$\overline{\mathbb{A}^2}$	4'-8 <sup>1/16"</sup>	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	(A3)	4'-8 <sup>1/16</sup> "	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	2	2			2	2			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5" SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	$\langle A4 \rangle$	4'-8 <sup>1/16"</sup>	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5" SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
-	(A5)	4'-8 <sup>1/16</sup> "	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5" SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
ш	(A6)	4'-8 <sup>1/16"</sup>	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	2	2			2	2			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5" SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
>	(A7)	4'-8 <sup>1/16</sup> "	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES)	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
ш	<u>A</u> 8	4'-8 <sup>1/16</sup> "	8'-4"	1'-0 <sup>1/2"</sup> (EACH LEAVES) 1'-0 <sup>1/2"</sup>	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	DETAIL "2" SHEET A-2.6 DETAIL "2"		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
		4'-8 <sup>1/16"</sup>	8'-4"	1-0 (EACH LEAVES) 1'-0 <sup>1/2"</sup>	7'-10"	1-3/4"	WOOD	3	3			1	1				SHEET A-2.6 DETAIL "2"	DETAIL "5" SHEET A-2.6 DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
-		4'-8 <sup>1/16"</sup>	8'-4"	(EACH LEAVES) 1'-0 <sup>1/2"</sup>	7'-10"	1-3/4"	WOOD	3	3			1	1				SHEET A-2.6 DETAIL "2"		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	(A11) (A12)	4'-8 <sup>1/16"</sup> 4'-8 <sup>1/16"</sup>	8'-4" 8'-4"	(EACH LEAVES) 1'-0 <sup>1/2"</sup>	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	SHEET A-2.6 DETAIL "2"	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11 SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
⊢	A13	4 -0 4'-8 <sup>1/16"</sup>	8'-4"	(EACH LEAVES) 1'-0 <sup>1/2"</sup>	7'-10" 7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	SHEET A-2.6 DETAIL "2"	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
s		4'-8 <sup>1/16"</sup>	8'-4"	(EACH LEAVES) 1'-0 <sup>1/2"</sup>	7'-10"	1-3/4"	WOOD	3	3			1	1			WOOD	SHEET A-2.6 DETAIL "2"	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	(E) (B1)	4'-9 <sup>5/8"</sup>	9'-9"	(EACH LEAVES) 2'-2"	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	SHEET A-2.6 DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
R	B2	4'-9 <sup>5/8</sup> "	9'-9"	(EACH LEAVES) 2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
-	B3	4'-9 <sup>5/8</sup> "	9'-9"	(EACH LEAVES) 2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
ш	B4	4'-9 <sup>5/8</sup> "	9'-9"	(EACH LEAVES) 2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	(B5)	4'-9 <sup>5/8</sup> "	9'-9"	2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	B6	4'-9 <sup>5/8"</sup>	9'-9"	2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	B7	4'-9 <sup>5/8</sup> "	9'-9"	2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
	<b>B8</b>	4'-9 <sup>5/8"</sup>	9'-9"	2'-2" (EACH LEAVES)	9'-6"	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
		4'-9"	9'-10 <sup>1/4"</sup>	2'-1 <sup>1/2"</sup> (EACH LEAVES)	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
ш		4'-9"	9'-10 <sup>1/4</sup> "	2'-1 <sup>1/2"</sup> (EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
>		4'-9"	9'-10 <sup>1/4"</sup>	2 - 1 (EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1		DETAIL "2" SHEET A-2.6 DETAIL "2"	SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
ш		4'-9"	9'-10 <sup>1/4"</sup>	(EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1		SHEET A-2.6 DETAIL "2"	SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
		4'-9"	9'-10 <sup>1/4"</sup> 9'-10 <sup>1/4"</sup>	(EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4"</sup> 9'-7 <sup>1/4"</sup>	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	SHEET A-2.6 DETAIL "2"	SHEET A-2.6	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11 SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
D Z	(C6) (C7)	4'-9" 4'-9"	9-10 <sup>4</sup> 9'-10 <sup>1/4</sup> "	(EACH LEAVES) 2'-1 <sup>1/2"</sup>	9-7 <sup>1/4"</sup>	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	SHEET A-2.6 DETAIL "2"	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
0		4'-9"	9'-10 <sup>1/4</sup> "	(EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	SHEET A-2.6 DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.1, SEE NOTE #11				
U		4'-6"	5'-10"	(EACH LEAVES) 2'-0" (EACH LEAVES)	5'-4"	1-3/4"	WOOD	1				1	2				DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #12				
ы S		4'-6"	5'-10"	2'-0" (EACH LEAVES)	5'-4"	1-3/4"	WOOD	1	1			1	1			14/00D	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #12				
		4'-6"	5'-10"	2'-0" (EACH LEAVES)	5'-4"	1-3/4"	WOOD	1	1			1	1			14/00D	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #12				
	E1	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	1'-11" (EACH LEAVES)	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	E2	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	1'-11" (EACH LEAVES)	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	$\langle E3 \rangle$	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	1'-11" (EACH LEAVES)	6'-11 <sup>1/8</sup> "	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	$\langle E4 \rangle$	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	1'-11" (EACH LEAVES)	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	<b>E</b> 5	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	1'-11" (EACH LEAVES)	6'-11 <sup>1/8</sup> "	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
		4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	1'-11" (EACH LEAVES) 1'-11"	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1				DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
-	<b>E7</b>	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	(EACH LEAVES)	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1			WOOD	SHEET A-2.6		SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
ш		4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	(EACH LEAVES)	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1				1				SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A 2.2, SEE NOTE #11				
>	(E9) (E10)	4'-3 <sup>3/4</sup> " 4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	(EACH LEAVES) 1'-11"	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1			14/00D	SHEET A-2.6 DETAIL "2"	SHEET A-2.6 DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11 SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
ш		4'-3 <sup>3/4</sup> 4'-3 <sup>3/4"</sup>	7'-5 <sup>1/8</sup>	(EACH LEAVES) 1'-11"	6'-11 <sup>1/8"</sup> 6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1					DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
		4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	(EACH LEAVES) 1'-11"	6'-11 <sup>1/8</sup> "	1-3/4	WOOD	1	1			1	1			14/000	SHEET A-2.6 DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
-	E13	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	(EACH LEAVES) 1'-11" (EACH LEAVES)	6'-11 <sup>1/8"</sup>	1-3/4"	WOOD	1	1			1	1			14/00D	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	(E14)	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	(EACH LEAVES) 1'-11" (EACH LEAVES)	6'-11 <sup>1/8</sup> "	1-3/4"	WOOD	1	1			1	1			14/00D	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
Δ	E15	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8"</sup>	(EACH LEAVES)	6'-11 <sup>1/8</sup> "	1-3/4"	WOOD	1	1			1	1				DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
~	(E16)	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	1'-11" (EACH LEAVES)	6'-11 <sup>1/8</sup> "	1-3/4"	WOOD	1	1			1	1			14/000	DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	(E17)	4'-3 <sup>3/4</sup> "	7'-5 <sup>1/8</sup> "	1'-11" (EACH LEAVES)	6'-11 <sup>1/8</sup> "	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5" SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
-	(F1)	4'-9"	9'-10 <sup>1/4</sup> "	2'-1 <sup>1/2"</sup> (EACH LEAVES)	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
т	<b>F</b> 2	4'-9"	9'-10 <sup>1/4</sup> "	2'-1 <sup>1/2"</sup> (EACH LEAVES)	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6	SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
<b>-</b> -	<b>F</b> 3	4'-9"	9'-10 <sup>1/4</sup> "	2'-1 <sup>1/2"</sup> (EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1	WOOD	DETAIL "2" SHEET A-2.6		SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	F4	4'-9"	9'-10 <sup>1/4</sup> "	2'-1' <sup>/2</sup> (EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1		DETAIL "2" SHEET A-2.6 DETAIL "2"	SHEET A-2.6	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	$\overline{F5}$	4'-9"	9'-10 <sup>1/4"</sup>	2'-1"- (EACH LEAVES) 2'-1 <sup>1/2"</sup>	9'-7 <sup>1/4</sup> "	1-3/4"	WOOD	1	1			1	1	1	1		DETAIL "2" SHEET A-2.6 DETAIL "2"		SEE DETAILS ON SHEET A 2.2, SEE NOTE #11				
	F6	4'-9"	8'-10 <sup>1/4"</sup>	(EACH LEAVES) 2'-1 <sup>1/2"</sup>	8'-6 <sup>1/4"</sup>	1-3/4"	WOOD	1	1			1	1	1	1	14/00D	SHEET A-2.6 DETAIL "2"	SHEET A-2.6 DETAIL "5"	SEE DETAILS ON SHEET A 2.2, SEE NOTE #11				
	F7 F8	4'-9" 4'-9"	8'-10 <sup>1/4"</sup> 8'-10 <sup>1/4"</sup>	(EACH LEAVES) 2'-1 <sup>1/2"</sup>	8'-6 <sup>1/4"</sup> 8'-6 <sup>1/4"</sup>	1-3/4"	WOOD	1	1			1	1	1	1	W000	SHEET A-2.6 DETAIL "2"	SHEET A-2.6 DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11 SEE DETAILS ON SHEET A-2.2, SEE NOTE #11				
	(F8) (G1)	4'-9" 4'-2"	5'-6"	(EACH LEAVES) 1'-11 <sup>1/2"</sup>	5'-2"	1-3/4"	WOOD	1	1			1	2			14/00D	SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.2, SEE NOTE #11 SEE DETAILS ON SHEET A-2.3, SEE NOTE #12				
		4-2	5'-6"	(EACH LEAVES) 1'-11 <sup>1/2"</sup>	5'-2"	1-3/4"	WOOD	1	1			1	1			WOOD	SHEET A-2.6 DETAIL "2" SHEET A-2.6	DETAIL "5"	SEE DETAILS ON SHEET A-2.3, SEE NOTE #12				
	(3) (3)	4'-2"	5'-6"	(EACH LEAVES) 1'-11 <sup>1/2"</sup> (EACH LEAV(ES)	5'-2"	1-3/4"	WOOD	1	1			1	1			WOOD	DETAIL "2" SHEET A-2.6	DETAIL "5"					
		L · -		(EACH LEAVES)					'						<u> </u>		JHEET A-2.6	J⊓EET A-2.6	, <u> </u>				





JOSE STREET JUAN, PUERTO RICO ADDRESS SAN SAN

RUCTION Ë PROJECT CONS<sup>7</sup>

IMPORTANT NOTES ABOUT WINDOWS DETAILS IN THIS PROJECT

1. ALL WINDOWS ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH WINDOWS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.

2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.

3. WINDOWS SHALL BE REPAIRED AND OR ALIGNED (IF NEEDED) AND FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER SEAL OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.

4. PAINT OF WINDOWS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.

5. WINDOWS GAPS BETWEEN LEAVES AND/OR FRAME MAY VARIES. CONTRACTOR SHALL VERIFY EACH DOOR IN ORDER TO MAKE SURE THAT WEATHERSTRIP MATERIAL WILL COVER THAT GAP BETWEEN WINDOWS LEAVES AND OR FRAME AND PROPERLY SEAL THE GAP.

6. CONTRACTOR SHALL SUBMITT SHOP DRAWINGS OF THE PROPER INSTALLATIONS AND OR FABRICATIONS.

7. CONTRACTOR SHALL INSTALL ALL WEATHERSTRIPS AND LOCKING DEVICES AS PER MANUFACTURER INSTRUCTION AND OR RECOMMENDATIONS.

8. CONTRACTOR SHALL TEST THE WEATHERSTRIP MATERIAL ADHESION IN A SMALL AREA IN WINDOWS AND FRAMES BEFORE PROCEEDING ENTIRELY. CONTRACTOR IS RESPONSIBLE FOR BE SURE THAT THE SURFACE IS SMOOTH AND PREPARE SURFACE IF NECESSARY AS REQUIRED BY MANUFACTURER SPECIFICATIONS.

9. CONTRACTOR SHALL VERIFY THAT WINDOWS PROPERLY OPERATES (CLOSE, OPEN PROPERLY) INCLUDING ALL LOCKING DEVICES, AFTER WEATHERSTRIP AND LOCKING DEVICES INSTALLATIONS.

10. CONTRACTOR SHALL VISIT THE BUILDING TO GET FAMILIARIZED WITH THE ENTIRE SCOPE OF WORK.

11. HORIZONTAL LOCKING DEVICE (LATCH TYPE) AT CENTER OF LEAVES AS PER FEMA REPORT IS NOT CONSIDERED BY DESIGNER DUE TO LACK OF SPACE DUE TO MOLDINGS AT LEAVES.

12. DESIGNER RECOMMEND THE REPLACEMENT OF THIS WINDOWS DUE TO EXISTING BAD CONDITIONS. CONTRACTOR SHALL CONSIDER SUBMIT A SHOP DRAWING OF THE FABRICATION AND INSTALLATION OF THIS WINDOWS. WINDOWS SHALL BE AS THE SAME MATERIAL AS EXISTING,



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DRAV	WN BY:	D. LUGO	D. LUGO							
REVI	SED BY:	P. J. VAG	P. J. VAGNETTI							
DATE	2:	2021-09-0	9							
PROJ	ECT NO:	20-720	20-720							
NO.	REVISION		DATE.							
SHE	ET TITLE:									
EXISTING WINDOWS										
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LOCKING HARDWARE & PROPOSED LOCKING HARDWARE SCHEDULE

A-2.0a

							EXISTI		RS & LO	DCKING H	IARDWAR	E & NEV		NG HAF		SCHED	JLE											EXIST	ING DOORS	& LOCKI	NG HARDW	ARE & NEV		G HARI	OWARE SCH	IEDULE	<u> </u>					
м	ROU	GH OPENIN	IG SIZE							DOORS								FRAME			REMARKS		мк	KD ROUGH C	PENING SIZ	E					ORS					_	FRAME			REM	ARKS	
				WIDTH	HEIG	GHT	THICK	MAT.	VERTI	ICAL LOCKING	KING HARD		VERTICAL LO		HORIZONTAL LC		MAT.	JAMB	HE	AD						WIDTH	HEIGH	т тніск	MAT.	VERTICAL L		NTAL LOCKING	NEW LOCK	KING H	DWARE	MAT.	T. JAMB HEAD	D				
	WID	тн н	HEIGHT						ТОР	DEVICES P BOTTOM	DEVIC M TOP	BOTTOM												WIDTH	HEIGH	r				TOP	ES ВОТТОМ ТОГ	BOTTOM	DEVICES TOP BO									
	4'-8	3"	10'-11" <sub>(I</sub>	2'-1" (EACH LEAVE	ES) 10'-8	8"	1-3/4"	WOOD	1	1			1	1	1	1	VOOD s	DETAIL "2" HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.4		(10,		8'-3"	2'-0" (EACH LEAV	ES) 8'-0"	1-3/4"	WOOD	1	1					woo	DD DETAIL "2" DETAIL " SHEET A-2.10 SHEET A-2		DETAILS ON SHE	ET A-2.8		
	9'-6			4'-6" (EACH LEAVE 3'-2"	/		1-3/4"	WOOD		1		1						DETAIL "2" HEET A-2.10 DETAIL "2"	0 SHEET	A-2.10 SEE DETAILS ON SHEET				-	8'-3"	2'-0" (EACH LEAV 2'-0"	,	1-3/4"	WOOD	1	1					WOO		-2.10 SEE	DETAILS ON SHE			
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	4-5		8'-3"	(EACH LEAVE 2'-0" (EACH LEAVE	<u>-3)</u> 8'-0"		1-3/4"	WOOD		1								HEET A-2.10 DETAIL "2" HEET A-2 10	-	7-2.10					8'-3"	(EACH LEAV 2'-0" (EACH LEAV	<u></u>	1-3/4"	WOOD	1	1					wool		"5" OFF	DETAILS ON SHE			
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4	4'-5	5"	8'-3" <sub>(I</sub>	2'-0" (EACH LEAVE	<sub>ES)</sub> 8'-0"	"	1-3/4"	WOOD	1	1							VOOD s		0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.5			-	8'-3"	2'-0" (EACH LEAV	ES) 8'-0"	1-3/4"	WOOD	1	1					woo	SHEET A-2.10 SHEET A-2	-2.10 SEE	DETAILS ON SHE	ET A-2.8		
	4'-5			2'-0" (EACH LEAVE 2'-0"			1-3/4"	WOOD		1								DETAIL "2" HEET A-2.10 DETAIL "2"	0 SHEET	A-2.10 SEE DETAILS ON SHEET					8'-3"	2'-0" (EACH LEAV 2'-0"	,	1-3/4"	WOOD	1	1					WOO		-2.10 SEE	DETAILS ON SHE			
	4'-5		8'-3"	(EACH LEAVE 2'-0"			1-3/4" 1-3/4"	WOOD		1								HEET A-2.10 DETAIL "2" HEET A-2.10	DETA						8'-3" 8'-3"	(EACH LEAV 2'-0"	<u>,</u> 8'_0"	1-3/4"	WOOD	1	1					WOO		."5"	DETAILS ON SHE			
EVEL	4'-5		8'-3"	EACH LEAVE 2'-0" EACH LEAVE	<u>-3)</u> 8'-0"		1-3/4"	WOOD		1								DETAIL "2" HEET A-2.1	DETA					-	8'-3"		<u>-3)</u> 8'-0"	1-3/4"	WOOD	1	1					WOO	SHEET A-2.10 SHEET A-2	"5" OFF	DETAILS ON SHE			
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	4'-5			2'-0" (EACH LEAVE 2'-0"			1-3/4"	WOOD		1								DETAIL "2" HEET A-2.10 DETAIL "2"	0 SHEET	A-2.10 SEE DETAILS ON SHEET					8'-3"	2'-0" (EACH LEAV 2'-0"	ES) 8'-0"	1-3/4"	WOOD	1	1					wool		-2.10 SEE	DETAILS ON SHE			
	4'-5		8'-3" (I 8'-3" (I	(EACH LEAVE 2'-0"	ES) 8'-0"		1-3/4" 1-3/4"	WOOD		1							VOOD s	HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET				4'-5"       4'-5"	8'-3" 8'-3"	(EACH LEAV 2'-0"	ES) 8'-0"	1-3/4"	WOOD	1	1					WOO	SHEET A-2.10 SHEET A-2	2.10 SEE	DETAILS ON SHE			
	4'-5		8'-3"	EACH LEAVE 2'-0" EACH LEAVE	<u>-3)</u> 8'-0"		1-3/4"	WOOD		1										A-2.10 SEE DETAILS ON SHEET				→ 4'-5"	8'-3"	(EACH LEAV 2'-0" (EACH LEAV	<u>-3)</u> 8'-0"	1-3/4"	WOOD	1	1					wool						
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	4'-5		,	2'-0" (EACH LEAVE 2'-0"	,		1-3/4"	WOOD		1								DETAIL "2"	0 SHEET	A-2.10 SEE DETAILS ON SHEET					8'-3"	2'-0" (EACH LEAV 2'-0"		1-3/4"	WOOD	1	1					WOO		2.10 SEE				
	4'-5		9'-6"	(EACH LEAVE 2'-1"	 		1-3/4" 1-3/4"	WOOD		1			1	1	1			HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.6 (BATHROOMS DOOR W/ FIXED				8'-3" 8'-2"	(EACH LEAV 1'-11 <sup>1/2"</sup> (EACH LEAV		1-3/4"	WOOD	2	1 2						DD DETAIL "2" DETAIL " SHEET A-2.10 SHEET A-2 DD DETAIL "2" DETAIL " SHEET A-2.10 SHEET A-2	-2.10 SEE	DETAILS ON SHE		OOMS DOOR W/ FIX	
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6	4'-1		(.	1'-1 <sup>1/4"</sup> (EACH LEAVE 1'-1 <sup>1/4"</sup>			1-3/4"	WOOD		3			1	·			VOOD s		0 SHEET	A-2.10 SEE DETAILS ON SHEET				10 4'-2"	8'-2"	1'-11 <sup>1/2"</sup> (EACH LEAV	,	1-3/4"	WOOD	2	2					WOO		-2.10 SEE				
6	4'-1		9'-6"	(EACH LEAVE 1'-1 <sup>1/4"</sup>	 		1-3/4" 1-3/4"	WOOD		3			1				VOOD s	HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET				<sup>2</sup> a) 3'-2" 2b) 3'-2"	7'-2"	2'-10" 2'-10"	7'-0"		METAL						1 1 1 <sup>1</sup>		SHEET A-2.10 SHEET A-2	-2.10				
	4'-1		9'-6"	(EACH LEAVE 1'-1 <sup>1/4"</sup> (EACH LEAVE	 		1-3/4"	WOOD		3			1	1					-					5-2	1-2	2 10	7-0	1 0/4									SHEET A-2.10 SHEET A-2	-2.10				
6	4'-1	1"	9'-6"	1'-1 <sup>1/4</sup> " (EACH LEAVE	<u></u> /	3"	1-3/4"	WOOD	3	3			1	1					-																							
6	4'-1		,	1'-1 <sup>1/4"</sup> (EACH LEAVE 1'-1 <sup>1/4"</sup>	<sub>ES)</sub> 9'-3	3"	1-3/4"	WOOD		3			1				NOOD S		0 SHEET	A-2.10 SEE DETAILS ON SHEET																						
6	4'-1		,	(EACH LEAVE 1'-1 <sup>1/4"</sup>			1-3/4"	WOOD		3			1				VOOD s	HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET																						
	4'-1		9'-6"	(EACH LEAVE 1'-1 <sup>1/4"</sup> (EACH LEAVE	 		1-3/4"	WOOD		3			1						-	AL <sup>+5<sup>5</sup></sup> SEE DETAILS ON SHEET       AL <sup>+5<sup>5</sup></sup> SEE DETAILS ON SHEET       AL <sup>+5<sup>5</sup></sup> SEE DETAILS ON SHEET																						
6	4'-1		9'-6"	1'-1 <sup>1/4"</sup> (EACH LEAVE	 		1-3/4"	WOOD	3	3			1	1					-	ALLO A-2.10 SEE DETAILS ON SHEET																						
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6	5'-0			(EACH LEAVE	,		1-3/4" 1-3/4"	WOOD		1			1						_	JL "5" A-2.10SEE DETAILS ON SHEETJL "5" A-2.10SEE DETAILS ON SHEET																						
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	5'-0			(EACH LEAVE 2'-3"	,		1-3/4" 1-3/4"	WOOD		1			1	1	1				_	JIL "5" A-2.10     SEE DETAILS ON SHEET       JIL "5" A-2.10     SEE DETAILS ON SHEET																						
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	5'-0			2-3 (EACH LEAVE 2'-3"	,		1-3/4" 1-3/4"	WOOD		1			1	1	1		NOOD s	HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET																						
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SECON	5'-0			2'-3" (EACH LEAVE	,		1-3/4"	WOOD	1	1			1	1	1					A-2.10 SEE DETAILS ON SHEET																	<u>IMPOF</u> PROJI		NOTES AE	OUT DOO	RS DETAILS	<u>IN THIS</u>
	5'-0			2'-3" (EACH LEAVE 2'-3"	<sub>ES)</sub> 9'-3	3"	1-3/4"	WOOD		1			1	1	1					NL "5" A-2.10 SEE DETAILS ON SHEET																						
	5'-0			(EACH LEAVE	,		1-3/4" 1-3/4"	WOOD		1			1		1		NOOD s	HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET																	CONTRA	ACTOR S	HALL VERIFY EA	CH DOOR DIM	S ARE FOR REFER IENSIONS INCLUD DER TO COORDIN	DING
	5'-0			(EACH LEAVE 2'-3" (EACH LEAVE	,		1-3/4"	WOOD		1			1	·   1	· 1				-																		PROPER	R INSTAL			CKING HARDWAR	
	5'-0			2'-3" (EACH LEAVE	,		1-3/4"	WOOD		1			1	1	1		VOOD s	DETAIL "2" HEET A-2.1	DETA 0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.7, SEE NOTE #11																2. CC	ONTRAC	FOR SHALL SUP		WINGS FOR THE	
	5'-0		```	2'-3" (EACH LEAVE 2'-3"	,		1-3/4"	WOOD		1			1	1	1				-	NL "5"     SEE DETAILS ON SHEET AND																	COMPON				AND WEATHER S	T T MT
	5'-0		8'-3"	(EACH LEAVE 2'-0"			1-3/4" 1-3/4"	WOOD		1			1	1	1 ·····		NOOD s	HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET																	FINISHEI	ED IN ORD	DER TO MAINTAI	N THE PROPER	IGNED (IF NEEDEI R OPERATION OF I	,
	4-0		8'-3"	(EACH LEAVE 2'-0" (EACH LEAVE	<u>-0)</u> 8'-(		1-3/4"	WOOD		1																											WEATHE	ERSTRIP		GOOD AESTH	R SEAL OF THE ETIC AFTER THE VEATHERSTRIP M/	
	4'-5		8'_3"	2'-0" (EACH LEAVE	8'-(		1-3/4"	WOOD	1	1							VOOD s	DETAIL "2" HEET A-2.1	DETA 0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.7																4. PA	AINT OF [	DOORS THAT H		NTED (IF NEEDED)	
	4'-5		```	2'-0" (EACH LEAVE 2'-0"			1-3/4"	WOOD		1										IL "5"     SEE DETAILS ON SHEET       A-2.10     SEE DETAILS ON SHEET																			RCHITECT / ENG APS BETWEEN L			
	4'-5		8'_3"	(EACH LEAVE	, 		1-3/4" 1-3/4"	WOOD		1										JIL "5" A-2.10SEE DETAILS ON SHEET AJIL "5" A-2.10SEE DETAILS ON SHEET A																	MAY VAF	RIES. CO		LL VERIFY EAC	CH DOOR IN ORDE	ER TO MAKE
	4-5		Q' 2"	(EACH LEAVE 2'-0" (EACH LEAVE	_0) 		1-3/4"	WOOD		1										A-2.10 SEE DETAILS ON SHEET A IL "5" A-2.10 SEE DETAILS ON SHEET A																		AP BETW			FRAME AND PROF	PERLY SEAL
	4'-5		8'-3"	2'-0" (EACH LEAVE	<u>-0)</u> 8'-(		1-3/4"	WOOD		1							vood <sub>s</sub>	DETAIL "2" HEET A-2.1	DETA 0 SHEET	$\frac{11.75}{A-2.10}$ SEE DETAILS ON SHEET	A-2.7																6. CC	ONTRAC <sup>-</sup>		-	AWINGS OF THE F	PROPER
	4'-5		```	2'-0" (EACH LEAVE 2'-0"			1-3/4"	WOOD		1										AL "5" SEE DETAILS ON SHEET		]																	AND OR FABRIC FOR SHALL INST		HERSTRIPS AND I	LOCKING
	4'-5		8'_3"	(EACH LEAVE	, 		1-3/4" 1-3/4"	WOOD		1										JIL "5" A-2.10SEE DETAILS ON SHEET AJIL "5" A-2.10SEE DETAILS ON SHEET A																		S AS PEF	R MANUFACTURI			
	4-5		8'_3"	(EACH LEAVE 2'-0" (EACH LEAVE			1-3/4"	WOOD		1																															RSTRIP MATERIA	
	4'-5		8'-3"	2'-0" (EACH LEAVE	<u>-0)</u> 8'-(		1-3/4"	WOOD		1									-																		CONTRA	ACTOR IS	RESPONSIBLE	FOR BE SURE	THAT THE SURFA	ACE IS
	4'-5		```	2'-0" (EACH LEAVE 2'-0"			1-3/4"	WOOD		1							vood <sub>s</sub>	DETAIL "2" HEET A-2.1	DETA 0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.7																MANUFA	ACTUREF	R SPECIFICATIO	IS.		
	4'-5		```	2'-0" (EACH LEAVE 2'-0"	,		1-3/4"	WOOD		1									_	IL "5"     SEE DETAILS ON SHEET       A-2.10     SEE DETAILS ON SHEET																	OPERAT	TES (CLO		ERLY) INCLUD	DING ALL LOCKING	
	4'-5		8'_3"	(EACH LEAVE	, 		1-3/4" 1-3/4"	WOOD		1										JIL "5" A-2.10SEE DETAILS ON SHEET AJIL "5" A-2.10SEE DETAILS ON SHEET A																					S INSTALLATIONS	
	4'-5		8'-3"	(EACH LEAVE 2'-0" (EACH LEAVE			1-3/4"	WOOD		1																													FOR SHALL VISI E SCOPE OF WO		G TO GET FAMILIA	
	4'-5		8'-3"	2'-0" (EACH LEAVE	<u>-0)</u> 8'-(		1-3/4"	WOOD	1	1							VOOD s	DETAIL "2" HEET A-2.1	DETA 0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.8 (BATHROOMS DOOR W/ FIXED																			<b>`</b>	YPE) AT CENTER ( Y DESIGNER DUE	
	4'-5	5"	8'-3" <sub>(l</sub>	2'-0" (EACH LEAVE	ES) 8'-0	-0"	1-3/4"	WOOD	1	1							vood <sub>s</sub>	DETAIL "2" HEET A-2.1	0 SHEET	A-2.10 SEE DETAILS ON SHEET	A-2.8 (BATHROOMS DOOR W/ FIXED	OUVERS)															SPACE D	DUE TO N	MOLDINGS AT LE	AVES.		
																						]															12. NE ON SHEE			URIZONTAL LO	DCKING DEVICE, S	SEE DETAILS





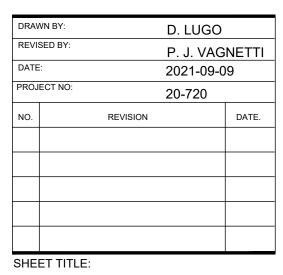
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ADDRESS SAN JOSE STREET SAN JUAN, PUERTO RICO

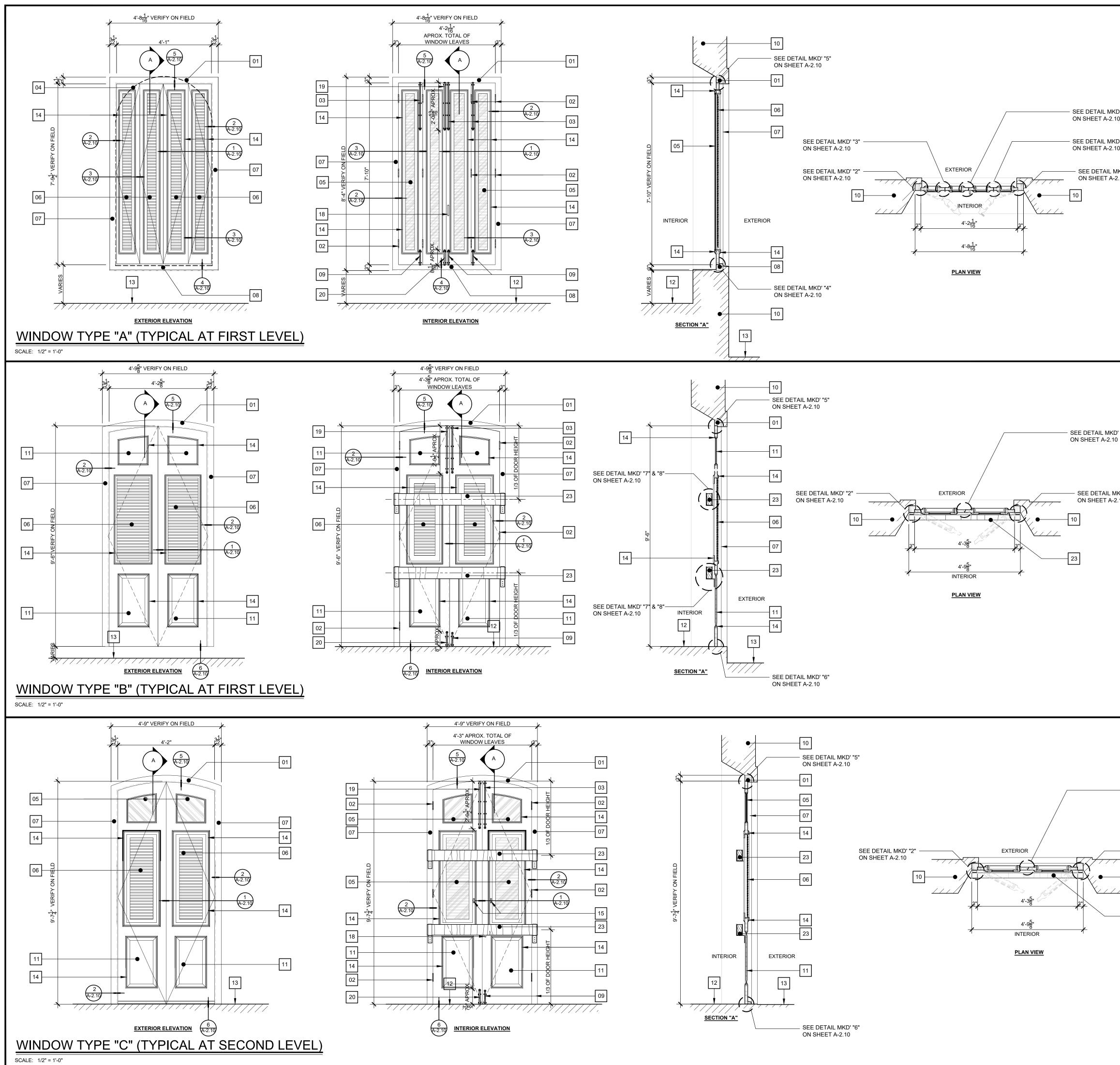


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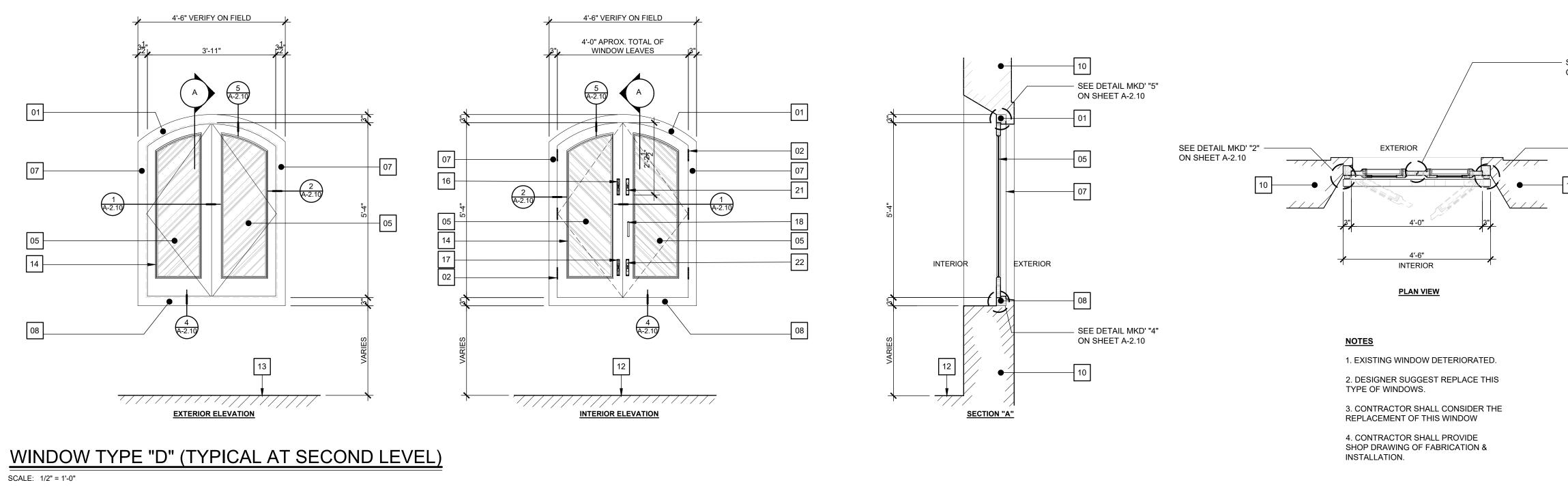


EXISTING DOORS LOCKING HARDWARE & PROPOSED LOCKING HARDWARE SCHEDULE

A-2.0b

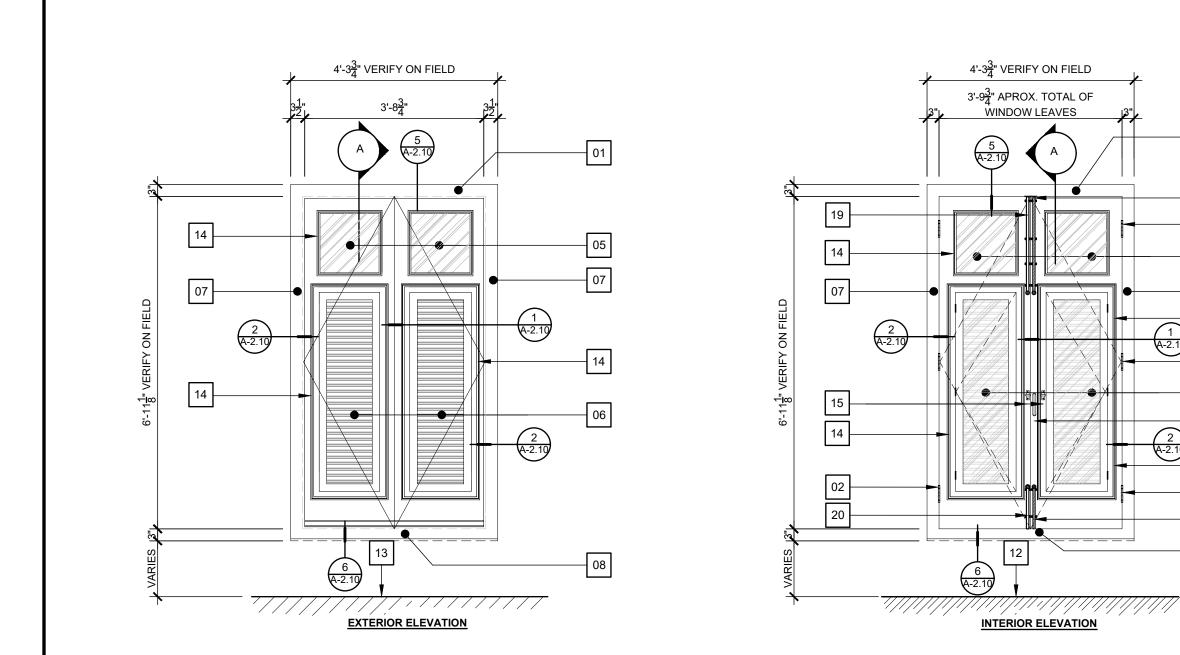


'L MKD' "1" A-2.10 IL MKD' "3" A-2.10 - AIL MKD' "2" - Т. А. 2.10	Image: Second String String Window wood Frame to Remain.         Image: Second String Window Hinges to Remain (typical).         Image: Second String Window Hinges to Remain (typical).         Image: Second String Top Vintage Dutch Bolt Surface Locking Device to Remain (typical).         Image: Second String Masonry Arch at Exterior.         Image: Second String Fixed Glass to Remain.         Image: Second String Window wood Jalousie to Remain.         Image: Second String String String Window wood Frame to Remain.         Image: Second String Bottom Window wood Frame to Remain.         Image: Second String Bottom Vintage Dutch Bolt Surface Mounted Locking Device to Remain (typical).         Image: Second String Masonry wall to Remain.	F.O. BOX 6025 San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net
ET A-2.10	<ul> <li>10 EXISTING MASONRY WALL TO REMAIN.</li> <li>11 EXISTING WOOD FIXED PANEL TO REMAIN.</li> <li>12 EXISTING INTERIOR FLOOR FINISH TO REMAIN.</li> <li>13 EXISTING EXTERIOR FLOOR FINISH TO REMAIN.</li> <li>14 EXISTING WOOD MOLDING TO REMAIN (TYPICAL).</li> <li>15 EXISTING WOOD JALOUSIE OPERATOR TO REMAIN (TYPICAL).</li> <li>16 EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>17 EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>18 EXISTING WINDOW HANDLE TO REMAIN.</li> <li>19 NEW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).</li> <li>20 NEW BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).</li> <li>21 NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>22 NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>23 NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN. SEE DETAILS</li> <li>23 NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE). SEE DETAILS ON SHEET A-2.10.</li> </ul>	I FOR STATE U I L D I N G
- MKD' "1" A-2.10 AIL MKD' "2" ET A-2.10		POOR TO CONSTRUCTION FOR CONSTRUCTION FOR HAZARD MITIGATION DE P A R T M E N T B DE P A R T M E N T B ADRA ADRA SAN JUAN, PUERTO RICO
SEE DETAIL MKD' "1" ON SHEET A-2.10 SEE DETAIL MKD' "2" ON SHEET A-2.10	IMPORTANT NOTES ABOUT WINDOWS IN THIS PROJECT	DRAWN BY:       D. LUGO         REVISED BY:       P. J. VAGNETTI         DATE:       D. LUGO
23	<ol> <li>IMPORTANT NOTES ABOUT WINDOWS IN THIS PROJECT</li> <li>ALL WINDOWS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH WINDOWS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.</li> <li>CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.</li> <li>WINDOWS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING &amp; PROPOSED), PROPER OPERATION OF LOCKING HARDWARE (EXISTING &amp; PROPOSED), PROPER OPERATION OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.</li> <li>PAINT OF WINDOWS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.</li> <li>SEE IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON SHEETS A-2.10 &amp; A-2.11.</li> <li>FOR LOCKING DEVICES QUANTITIES OF EACH WINDOWS REFER TO SHEET A-2.0a.</li> </ol>	NO. DATE.   DATE.   DATE.   SHEET TITLE:   SHEET TITLE:   Description of the second secon



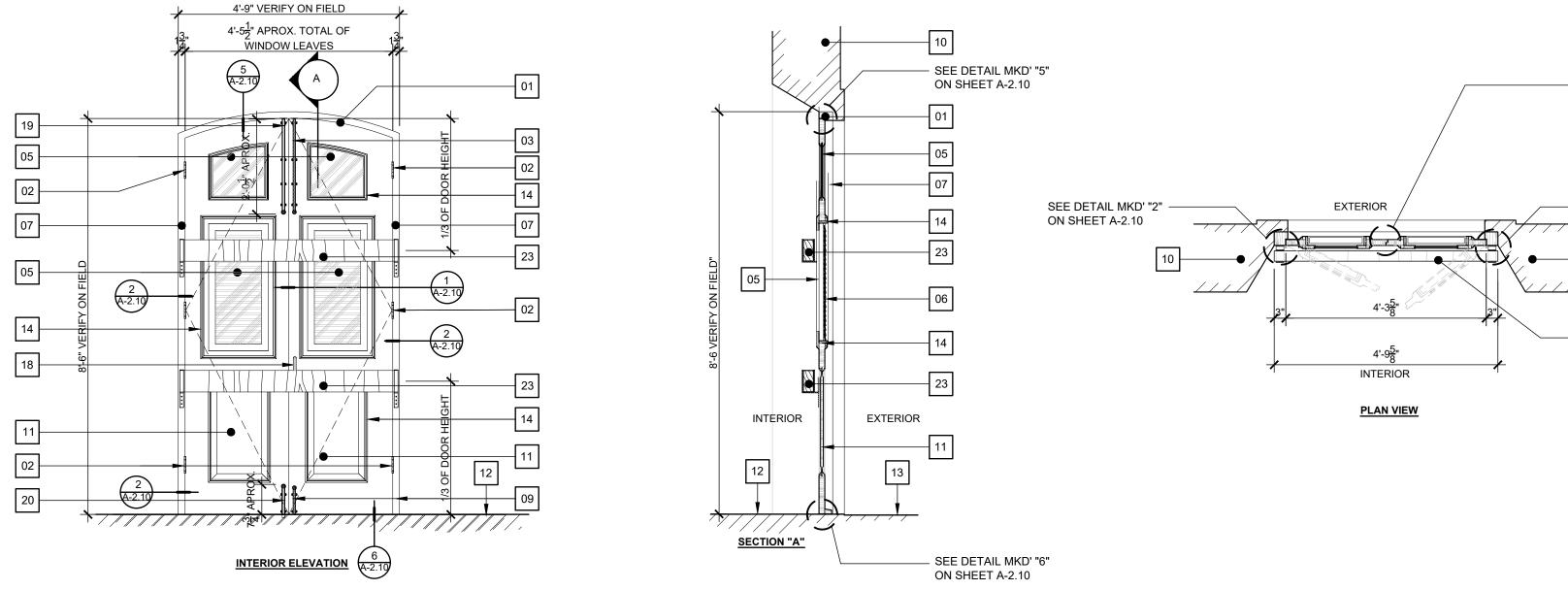
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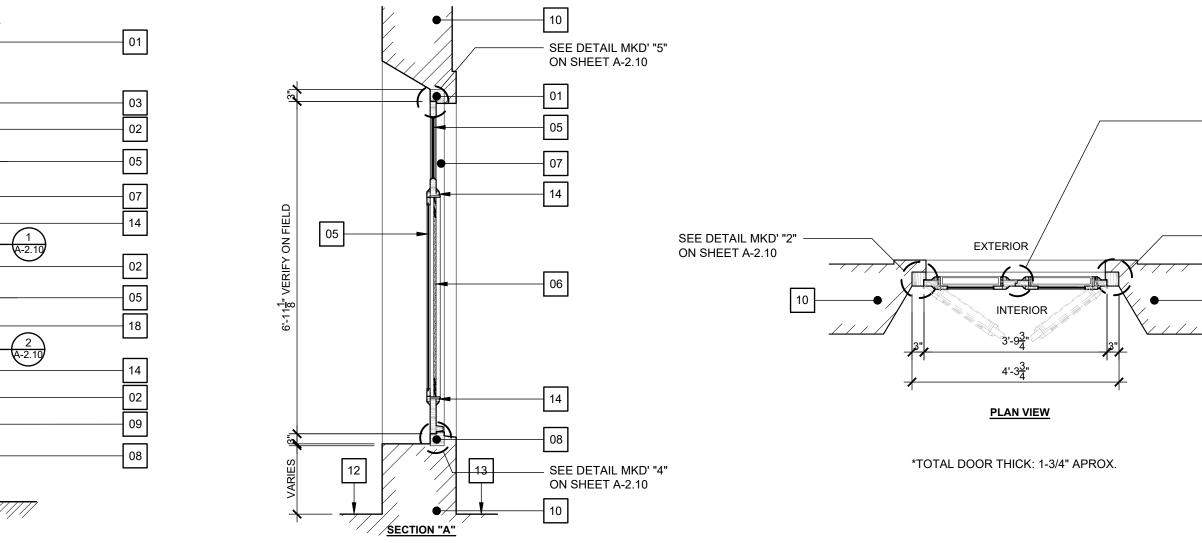
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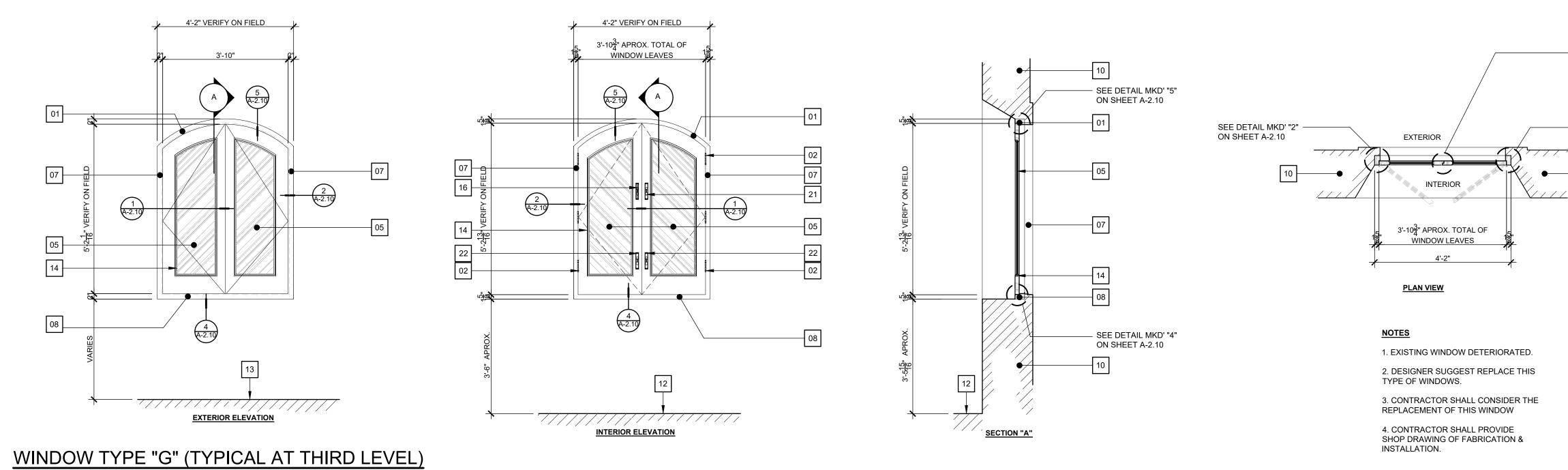
## WINDOW TYPE "E" (TYPICAL AT THIRD LEVEL) SCALE: 1/2" = 1'-0"

4'-9" VERIFY ON FIELD  $\overline{5}$ 01 A-2.10 07 05 07 14 – 06 06 **A-2.1** 14 11 \_\_\_\_11 14 -13 \_\_\_\_\_ **EXTERIOR ELEVATION**  $\begin{pmatrix} 6 \\ A-2.10 \end{pmatrix}$ WINDOW TYPE "F" (TYPICAL AT THIRD LEVEL) SCALE: 1/2" = 1'-0"





SEE DETAIL MKD' "1" ON SHEET A-2.10 SEE DETAIL MKD' "2" ON SHEET A-2.10	WINDOWS KEY NOTES:         1) EXISTING TOP WINDOW WOOD FRAME TO REMAIN.         12) EXISTING TOP WINDOW HINGES TO REMAIN (TYPICAL).         13) EXISTING WINDOW HINGES TO REMAIN (TYPICAL).         14) EXISTING TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).         15) EXISTING TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).         16) EXISTING MASONRY ARCH AT EXTERIOR.         16) EXISTING FIXED GLASS TO REMAIN.         16) EXISTING WINDOW WOOD JALOUSIE TO REMAIN.         17) EXISTING SIDE WINDOW WOOD FRAME TO REMAIN.         18) EXISTING BOTTOM WINDOW WOOD FRAME TO REMAIN.         19) EXISTING BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).         10) EXISTING MASONRY WALL TO REMAIN.         11) EXISTING MASONRY WALL TO REMAIN.         12) EXISTING INTERIOR FLOOR FINISH TO REMAIN.         13) EXISTING EXTERIOR FLOOR FINISH TO REMAIN.         14) EXISTING WOOD MOLDING TO REMAIN (TYPICAL).         15) EXISTING WOOD JALOUSIE OPERATOR TO REMAIN.         16) EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	<image/> <section-header><section-header><text></text></section-header></section-header>
SEE DETAIL MKD' "1" ON SHEET A-2.10 SEE DETAIL MKD' "2" ON SHEET A-2.10 10	<ul> <li>EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>EXISTING WINDOW HANDLE TO REMAIN.</li> <li>NEW TOP WITAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).</li> <li>NEW BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).</li> <li>NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE). SEE DETAILS ON SHEET A2.10</li> </ul>	Montenant       Montenant         Construction For State       Hazardinant for State         Hazard Mitigation For State       U I L D I N G         D E P A R T M E N T B U I L D I N G       Montenant         And       Montenant         And       San Jones
SEE DETAIL MKD' "1" ON SHEET A-2.10 SEE DETAIL MKD' "2" ON SHEET A-2.10 10 23	IMPORTANT NOTES ABOUT WINDOWS IN THIS PROJECT         1. ALL WINDOWS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR         REFERENCE CONTRACTOR SHALL VERIFY EACH WINDOWS DIMENSIONS         INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE         THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND         WEATHERSTRIP COMPONENTS.         2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION         OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.         3. WINDOWS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO         MINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (XISTING & PROPOSED), PROPER OPERATION OF LOCKING HARDWARE (XISTING & PROPOSED), PROPER OPERATION OF LOCKING HARDWARE (XISTING & PROPOSED), PROPER OPERATION OF LOCKING HARDWARE (XISTING & SOOD AESTHETIC AFTER THE INSTALLATION OF THE WEATHERSTRIP MATERIAL.AND         4. PAINT OF WINDOWS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE         5. SEE IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON         5. SEE IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON         6. FOR LOCKING DEVICES QUANTITIES OF EACH WINDOWS REFER TO         8. FOR LOCKING DEVICES QUANTITIES OF EACH WINDOWS REFER TO	<form></form>



SCALE: 1/2" = 1'-0"

### SEE DETAIL MKD' "1" ON SHEET A-2.10

SEE DETAIL MKD' "2" ON SHEET A-2.10

\_\_\_\_\_10

### WINDOWS KEY NOTES:

- 01 EXISTING TOP WINDOW WOOD FRAME TO REMAIN.
- 02 EXISTING WINDOW HINGES TO REMAIN (TYPICAL).

# 03 EXISTING TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).

- 04 EXISTING MASONRY ARCH AT EXTERIOR.
- 05 EXISTING FIXED GLASS TO REMAIN.
- 06 EXISTING WINDOW WOOD JALOUSIE TO REMAIN.
- 07 EXISTING SIDE WINDOW WOOD FRAME TO REMAIN.
- 08 EXISTING BOTTOM WINDOW WOOD FRAME TO REMAIN.
- 09 EXISTING BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).
- 10 EXISTING MASONRY WALL TO REMAIN.
- 11 EXISTING WOOD FIXED PANEL TO REMAIN.
- 12 EXISTING INTERIOR FLOOR FINISH TO REMAIN.
- 13 EXISTING EXTERIOR FLOOR FINISH TO REMAIN.
- 14 EXISTING WOOD MOLDING TO REMAIN (TYPICAL).
- 15 EXISTING WOOD JALOUSIE OPERATOR TO REMAIN.
- 16 EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.
- 17 EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.
- 18 EXISTING WINDOW HANDLE TO REMAIN.
- 19 NEW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).
- 20 NEW BOTTOM VINTAGE DUTCH BOLT SURFACE
- MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).
- 21 NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.
- 22 NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.
- 23 NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE).



San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net

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SEAL:

DRAWN BY: D. LUGO REVISED BY: P. J. VAGNETTI DATE: 2021-09-09 PROJECT NO: 20-720 REVISION DATE. SHEET TITLE:

**EXISTING WINDOWS ELEVATIONS W/ PROPOSED** LOCKING HARDWARE

4. PAINT OF WINDOWS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE PAGE NUMBER

5. SEE IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON SHEETS A-2.10 & A-2.11.

IMPORTANT NOTES ABOUT WINDOWS IN THIS PROJECT

1. ALL WINDOWS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH WINDOWS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND

2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION

3. WINDOWS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO

MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER OPERATION OF THE WEATHERSTRIP MATERIAL AND

GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND

OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.

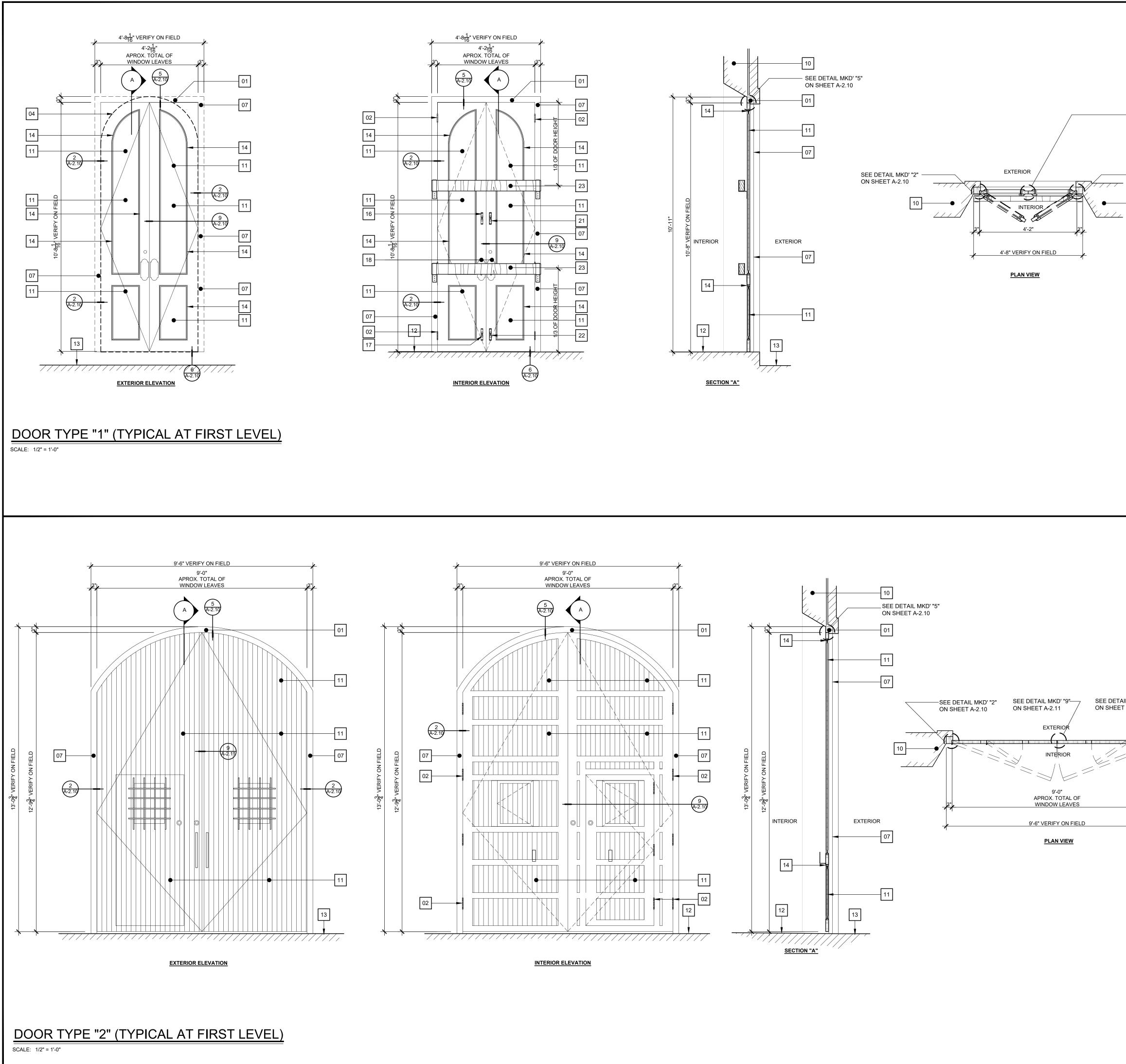
WEATHERSTRIP COMPONENTS.

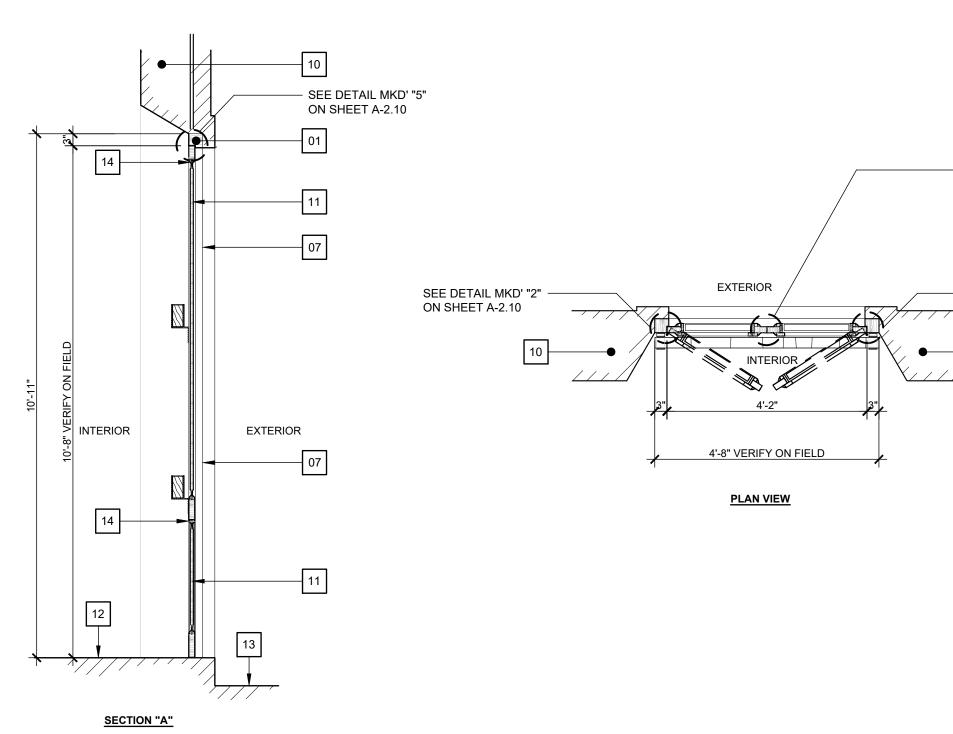
WEATHERSTRIP MATERIAL.

SELECTED BY ARCHITECT / ENGINEER.

6. FOR LOCKING DEVICES QUANTITIES OF EACH WINDOWS REFER TO SHEET A-2.0a.

A-2.3

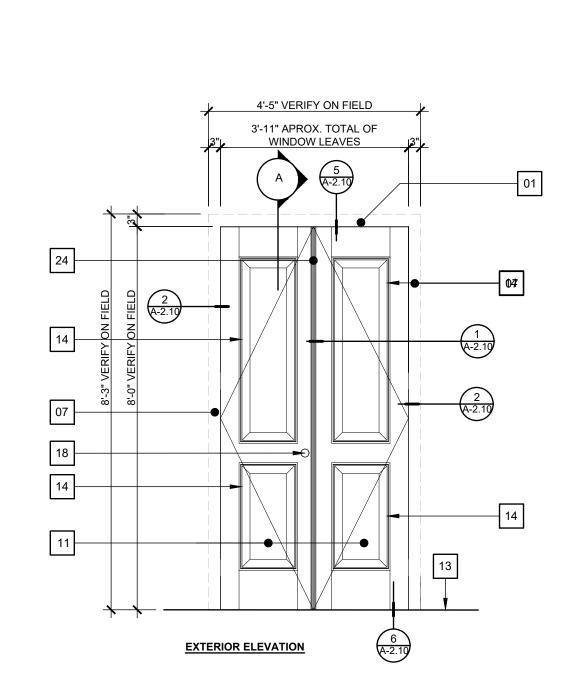


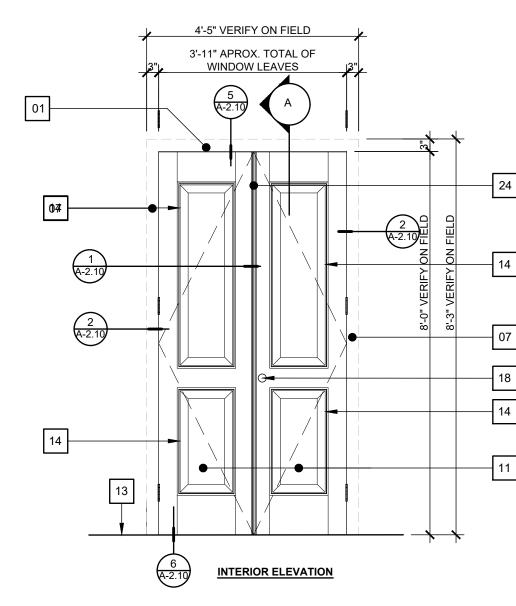


SEE DETAIL MKD' "9" ON SHEET A-2.11 SEE DETAIL MKD' "2" ON SHEET A-2.10	DOORS KEY NOTES:         11         121         131         141         152         151         151         151         151         151         151         151         152         153         154         155	<image/> <section-header><text></text></section-header>
	<ul> <li>EXISTING WOOD JACOUSIE OPERATOR TO REMAIN (TYPICAL).</li> <li>EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>EXISTING DOOR HANDLE TO REMAIN.</li> <li>REW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).</li> <li>NEW BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).</li> <li>NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.</li> <li>NEW BOTTOM HORIZONTAL LOCKING DEVICE (BARRICADE TYPE). SEE DETAILS ON SHEET A-2.10</li> </ul>	DN FOR MITIGATION FOR STATE T M E N T B U I L D I N G T M E N T B U I L D I N G FT RTORICO
DETAIL MKD' "2" SHEET A-2.10		<section-header><text><text><text><image/><image/></text></text></text></section-header>
	<ul> <li>IMPORTANT NOTES ABOUT DOORS IN THIS PROJECT</li> <li>ALL DOORS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH DOORS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.</li> <li>CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.</li> <li>DOORS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING &amp; PROPOSED), PROPER OPERATION OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.</li> <li>PAINT OF DOORS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.</li> <li>SEE IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON</li> </ul>	
	<ul> <li>6. FOR LOCKING DEVICES QUANTITIES OF EACH DOORS REFER TO</li> </ul>	A-2.4

SHEET A-2.0b.

# DOOR TYPE "4" (TYPICAL AT FIRST LEVEL-4a TO 4o)





# DOOR TYPE "3" (TYPICAL AT FIRST LEVEL)

6'-11" VERIFY ON FIELD

6'-5"

APROX. TOTAL OF

WINDOW LEAVES

SCALE: 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

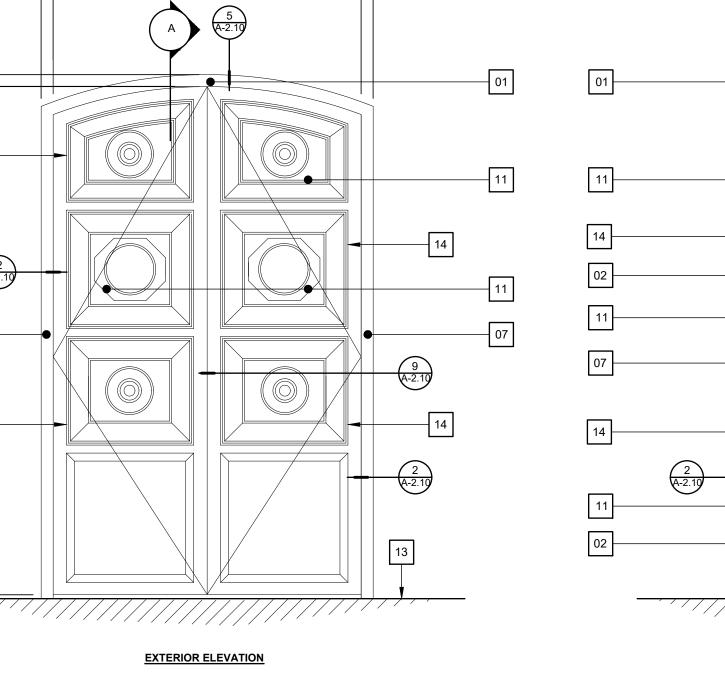
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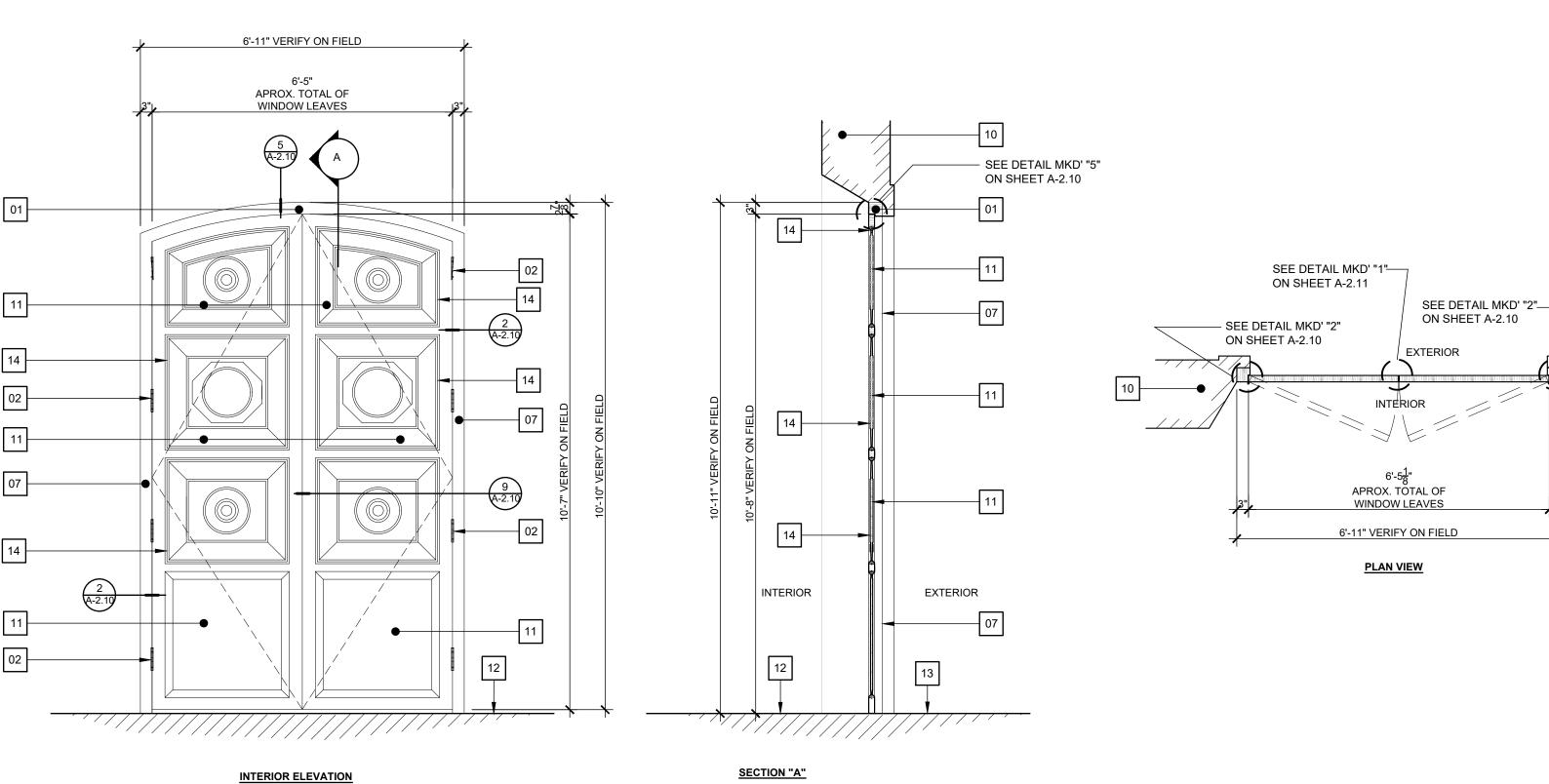
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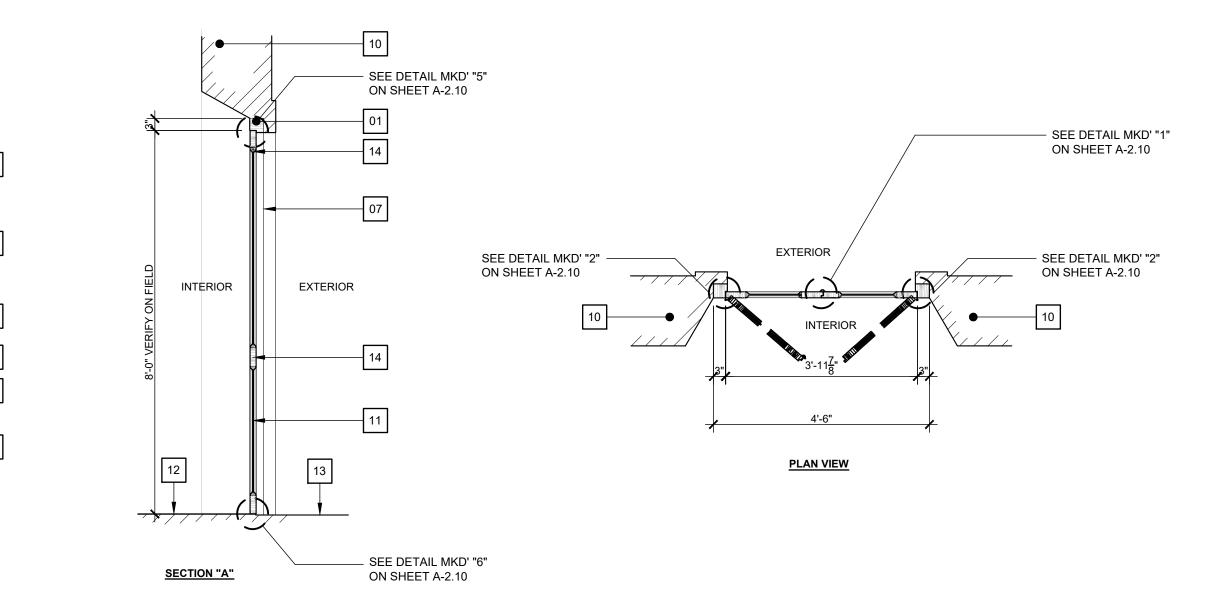
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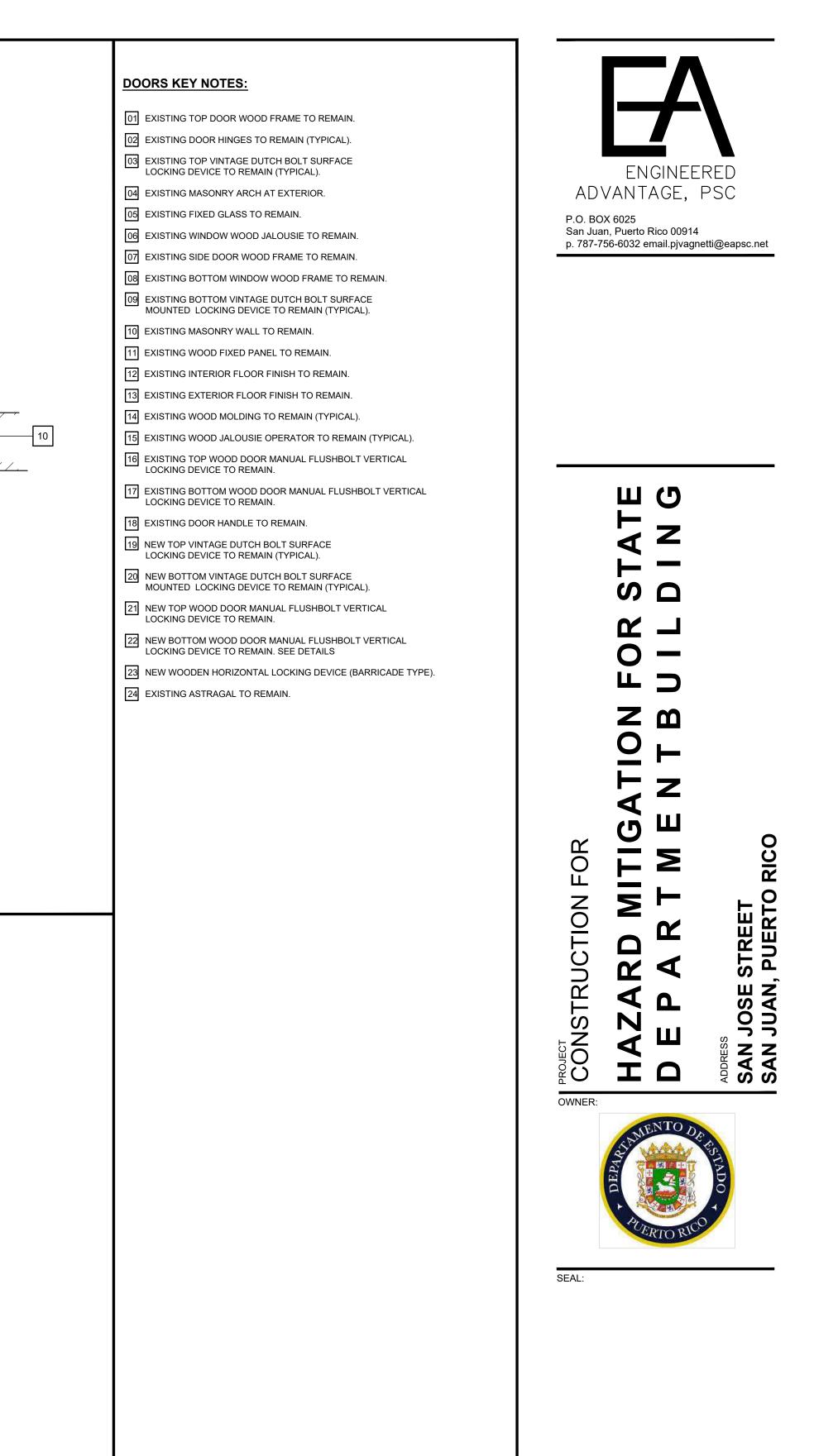
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2 A-2.10









## IMPORTANT NOTES ABOUT DOORS IN THIS PROJECT

ALL DOORS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH DOORS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.

2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.

3. DOORS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER OPERATION OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.

4. PAINT OF DOORS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.

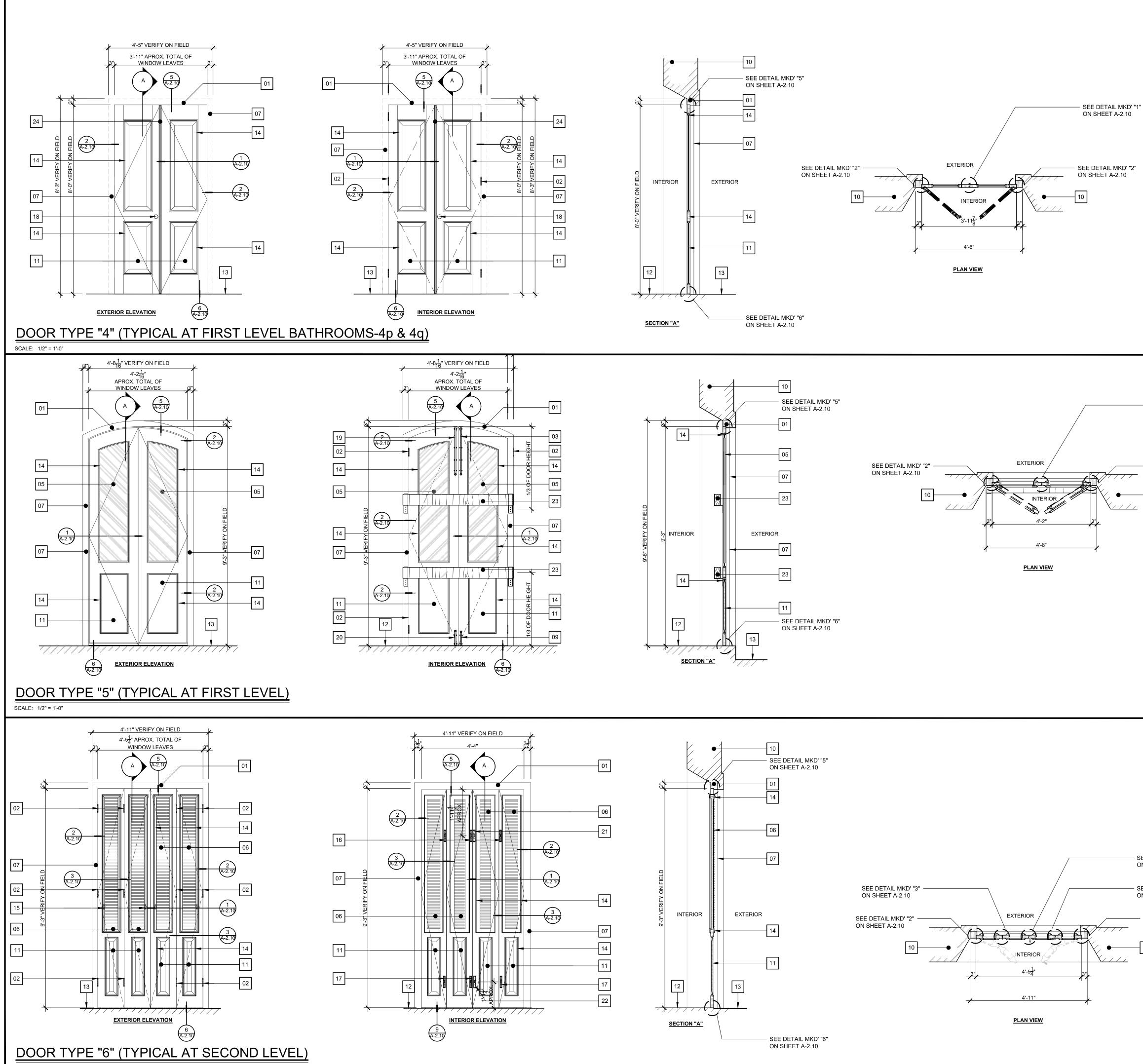
5. SEE <u>IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON</u> SHEETS A-2.10 & A-2.11.

6. FOR LOCKING DEVICES QUANTITIES OF EACH DOORS REFER TO SHEET A-2.0b.

DRAWN B	Y:	D. LUGO							
REVISED	BY:	P. J. VAG	INETTI						
DATE:		2021-09-09							
PROJECT	NO:	20-720							
NO.	REVISION		DATE.						

**EXISTING DOORS ELEVATIONS W/ PROPOSED** LOCKING HARDWARE

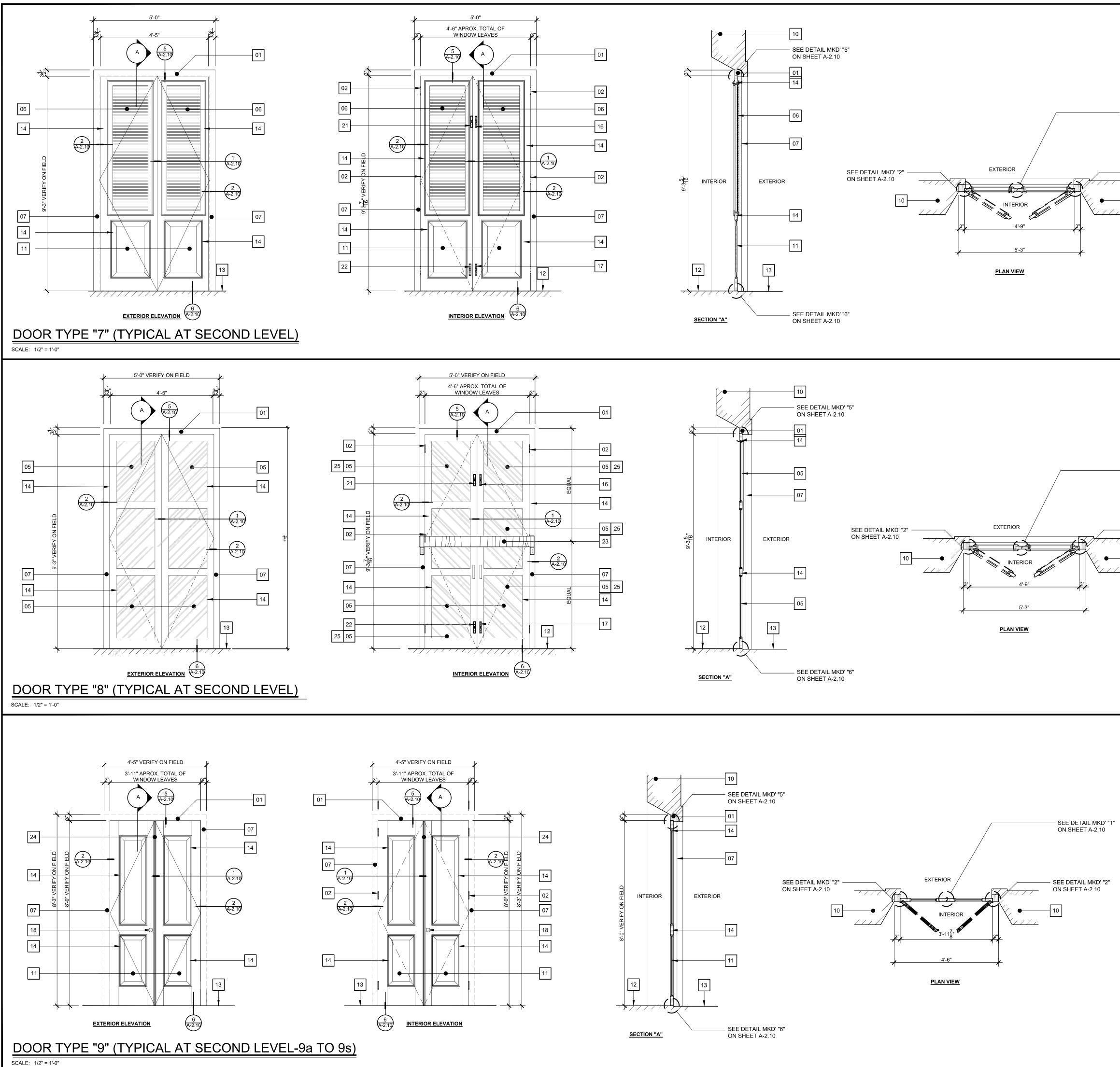
A-2.5



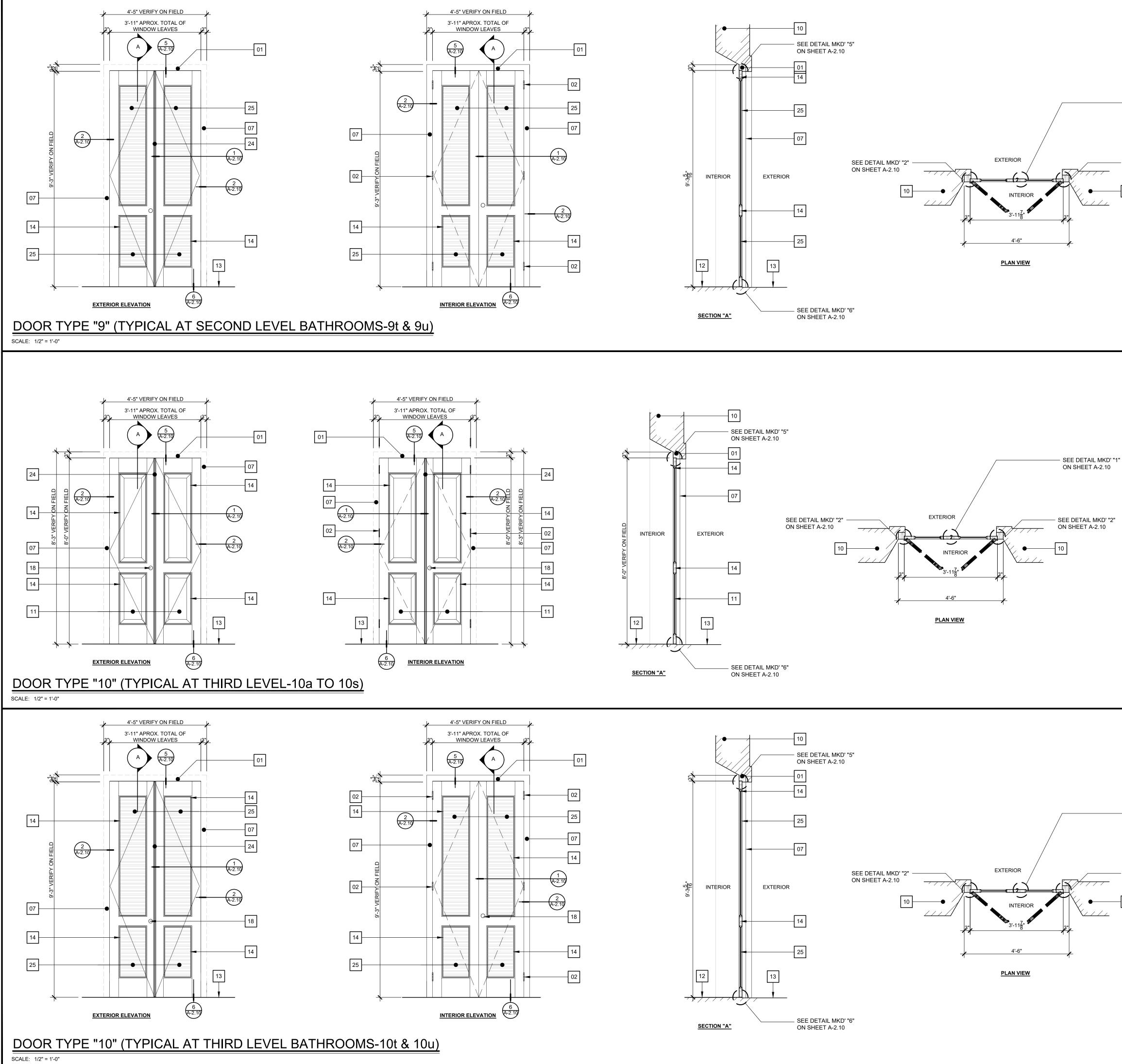
SCALE: 1/2" = 1'-0"

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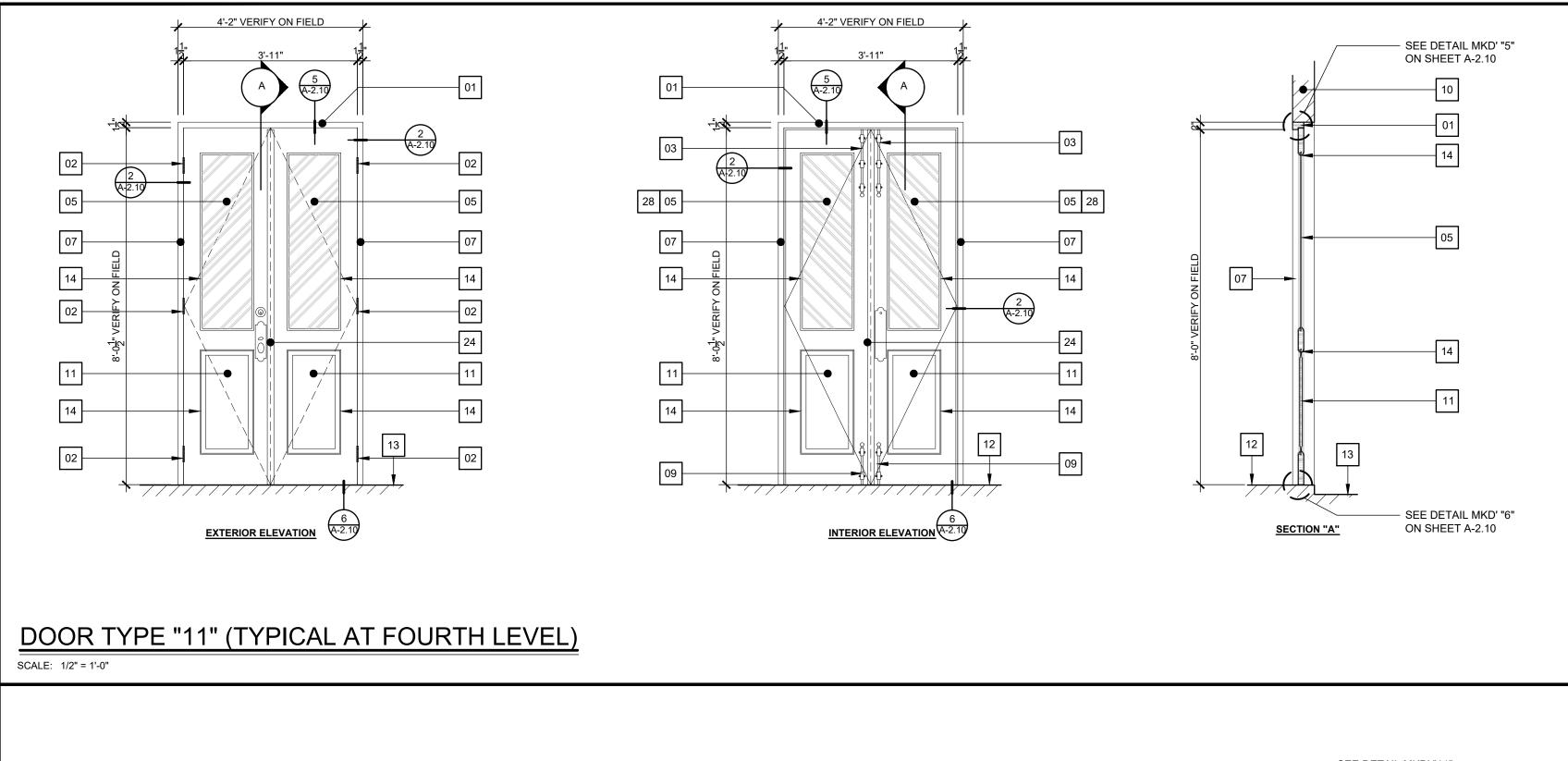
	DOORS KEY NOTES: 101 EXISTING TOP DOOR WOOD FRAME TO REMAIN. 102 EXISTING DOOR HINGES TO REMAIN (TYPICAL).	$-\mathbf{A}$
	<ul> <li>EXISTING DOORTHINGES TO REMAIN (THTORE).</li> <li>EXISTING TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).</li> </ul>	ENGINEERED
	04 EXISTING MASONRY ARCH AT EXTERIOR.	ADVANTAGE, PSC
"	05 EXISTING FIXED GLASS TO REMAIN. 06 EXISTING WINDOW WOOD JALOUSIE TO REMAIN.	P.O. BOX 6025 San Juan, Puerto Rico 00914
	07 EXISTING SIDE DOOR WOOD FRAME TO REMAIN.	p. 787-756-6032 email.pjvagnetti@eapsc.net
	<ul><li>08 EXISTING BOTTOM WINDOW WOOD FRAME TO REMAIN.</li><li>09 EXISTING BOTTOM VINTAGE DUTCH BOLT SURFACE</li></ul>	
	MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	
	<ul><li>10 EXISTING MASONRY WALL TO REMAIN.</li><li>11 EXISTING WOOD FIXED PANEL TO REMAIN.</li></ul>	
	12 EXISTING INTERIOR FLOOR FINISH TO REMAIN.	
	<ul><li>13 EXISTING EXTERIOR FLOOR FINISH TO REMAIN.</li><li>14 EXISTING WOOD MOLDING TO REMAIN (TYPICAL).</li></ul>	
	15 EXISTING WOOD JALOUSIE OPERATOR TO REMAIN (TYPICAL).	
	16 EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	
	17 EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	<u>ш</u> С
	18 EXISTING DOOR HANDLE TO REMAIN.	
	19 NEW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).	
	20 NEW BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	ם א <sup>י</sup>
	21 NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	
	22 NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN. SEE DETAILS	
	23 NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE).	й л
	<ul><li>24 EXISTING ASTRAGAL TO REMAIN.</li><li>25 EXISTING FIXED WOOD LOVERS TO REMAIN.</li></ul>	Ζm
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		DRAWN BY: D. LUGO
SEE DETAIL MKD' "1" ON SHEET A-2.10		REVISED BY: P. J. VAGNETTI
		DATE:         2021-09-09           PROJECT NO:         20-720
SEE DETAIL MKD' "3" ON SHEET A-2.10	IMPORTANT NOTES ABOUT DOORS IN THIS PROJECT	NO. REVISION DATE.
– SEE DETAIL MKD' "2"	1. ALL DOORS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR	
ON SHEET A-2.10	REFERENCE. CONTRACTOR SHALL VERIFY EACH DOORS DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO	
- 10	COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.	
	2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.	SHEET TITLE:
	3. DOORS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO	EXISTING DOORS
	MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER OPERATION OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND	ELEVATIONS W/ PROPOSED
	WEATHERSTRIP MATERIAL.	LOCKING HARDWARE
	4. PAINT OF DOORS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.	PAGE NUMBER
	5. SEE <u>IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON</u> SHEETS A-2.10 & A-2.11.	A-2.6
	6. FOR LOCKING DEVICES QUANTITIES OF EACH DOORS REFER TO SHEET A-2.0b.	

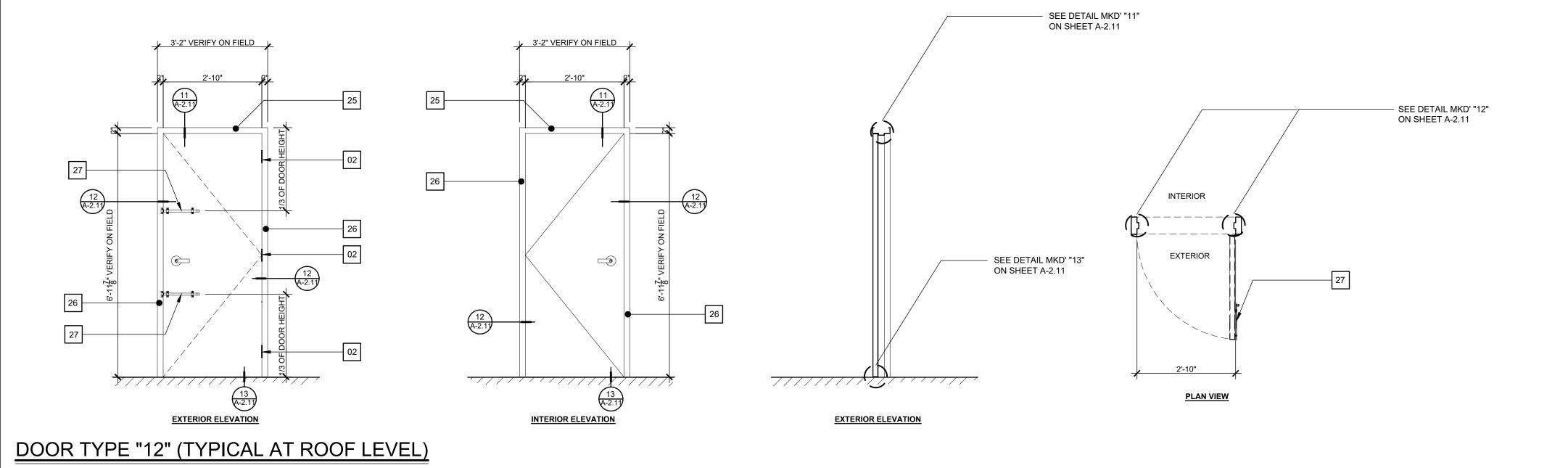


	WINDOWS KEY NOTES:	
	01 EXISTING TOP WINDOW WOOD FRAME TO REMAIN. 02 EXISTING WINDOW HINGES TO REMAIN (TYPICAL).	
	03 EXISTING TOP VINTAGE DUTCH BOLT SURFACE	
	IOCKING DEVICE TO REMAIN (TYPICAL).         04         EXISTING MASONRY ARCH AT EXTERIOR.	ENGINEERED ADVANTAGE, PSC
	05 EXISTING FIXED GLASS TO REMAIN.	P.O. BOX 6025
<ul> <li>SEE DETAIL MKD' "1"</li> <li>ON SHEET A-2.10</li> </ul>	06 EXISTING WINDOW WOOD JALOUSIE TO REMAIN.	San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net
	07 EXISTING SIDE WINDOW WOOD FRAME TO REMAIN.	p. for foo cool ontailpyragnotil@oupoo.not
	08 EXISTING BOTTOM WINDOW WOOD FRAME TO REMAIN.	
	09 EXISTING BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	
SEE DETAIL MKD' "2" ON SHEET A-2.10	10 EXISTING MASONRY WALL TO REMAIN.	
10	<ul><li>11 EXISTING WOOD FIXED PANEL TO REMAIN.</li><li>12 EXISTING INTERIOR FLOOR FINISH TO REMAIN.</li></ul>	
	13 EXISTING EXTERIOR FLOOR FINISH TO REMAIN.	
	14 EXISTING WOOD MOLDING TO REMAIN (TYPICAL).	
	<ul><li>15 EXISTING WOOD JALOUSIE OPERATOR TO REMAIN (TYPICAL).</li><li>16 EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL</li></ul>	
	LOCKING DEVICE TO REMAIN.	
	17 EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	ШО
	18 EXISTING WINDOW HANDLE TO REMAIN.	
	19 NEW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).	
	20 NEW BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	
	21 NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	
	22 NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL	
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	<ul><li>23 NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE).</li><li>24 EXISTING ASTRAGAL TO REMAIN</li></ul>	L D
	25 3M SAFETY AND SECURITY WINDOW FILM (EQUAL OR SIMILAR)	Z M
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SEE DETAIL MKD' "1" ON SHEET A-2.10		
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		DRAWN BY: D. LUGO REVISED BY: P. J. VAGNETTI
		DATE: 2021-09-09
		NO. REVISION DATE.
	IMPORTANT NOTES ABOUT DOORS IN THIS PROJECT	
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	INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.	SHEET TITLE:
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	WEATHERSTRIP MATERIAL. 4. PAINT OF DOORS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE	
	SELECTED BY ARCHITECT / ENGINEER.	PAGE NUMBER
	5. SEE <u>IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON</u> SHEETS A-2.10 & A-2.11.	A-2.7
	6. FOR LOCKING DEVICES QUANTITIES OF EACH DOORS REFER TO SHEET A-2.0b.	

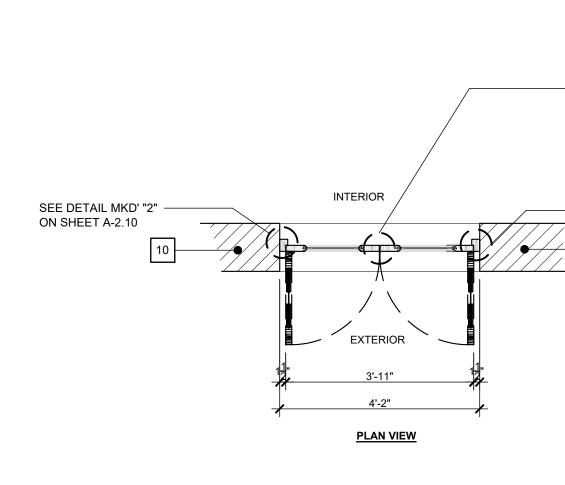


	DOORS KEY NOTES:         1         1         1         1         2         2         2         3         2         2         3         2         1         2         2         3         2         2         4         2         2         2         3         2         2         3         2         2         3         2         3         2         3         2         3         2         3         2         3         2         3         2         3         2         3         2         3         2         3         2         3         2         3         3         3	ENGINEERED ADVANTAGE, PSC
	05 EXISTING FIXED GLASS TO REMAIN. 06 EXISTING WINDOW WOOD JALOUSIE TO REMAIN.	P.O. BOX 6025 San Juan, Puerto Rico 00914
ON SHEET A-2.10	07 EXISTING SIDE DOOR WOOD FRAME TO REMAIN.	p. 787-756-6032 email.pjvagnetti@eapsc.net
	08 EXISTING BOTTOM WINDOW WOOD FRAME TO REMAIN.	
	09 EXISTING BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	
— SEE DETAIL MKD' "2" ON SHEET A-2.10	10 EXISTING MASONRY WALL TO REMAIN.	
10	<ul><li>12 EXISTING INTERIOR FLOOR FINISH TO REMAIN.</li><li>13 EXISTING EXTERIOR FLOOR FINISH TO REMAIN.</li></ul>	
	14 EXISTING DOOR MOLDING TO REMAIN (TYPICAL).	
	15 EXISTING WOOD JALOUSIE OPERATOR TO REMAIN (TYPICAL).	
	16 EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	
	17 EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	ШŪ
	18 EXISTING DOOR HANDLE TO REMAIN.	
	19 NEW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).	
	20 NEW BOTTOM VINTAGE DUTCH BOLT SURFACE MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	
	21 NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	
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	<ul> <li>LOCKING DEVICE TO REMAIN. SEE DETAILS</li> <li>23 NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE).</li> </ul>	0 —
	24 EXISTING ASTRAGAL TO REMAIN	шЭ
	25 EXISTING WOOD FIXED LOUVERS TO REMIAN.	Z M
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		DRAWN BY:     D. LUGO       REVISED BY:     P. J. VAGNETTI
		DATE: 2021-09-09
— SEE DETAIL MKD' "2" ON SHEET A-2.10		NO. REVISION DATE.
	IMPORTANT NOTES ABOUT DOORS IN THIS PROJECT	
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	6. FOR LOCKING DEVICES QUANTITIES OF EACH DOORS REFER TO SHEET A-2.0b.	

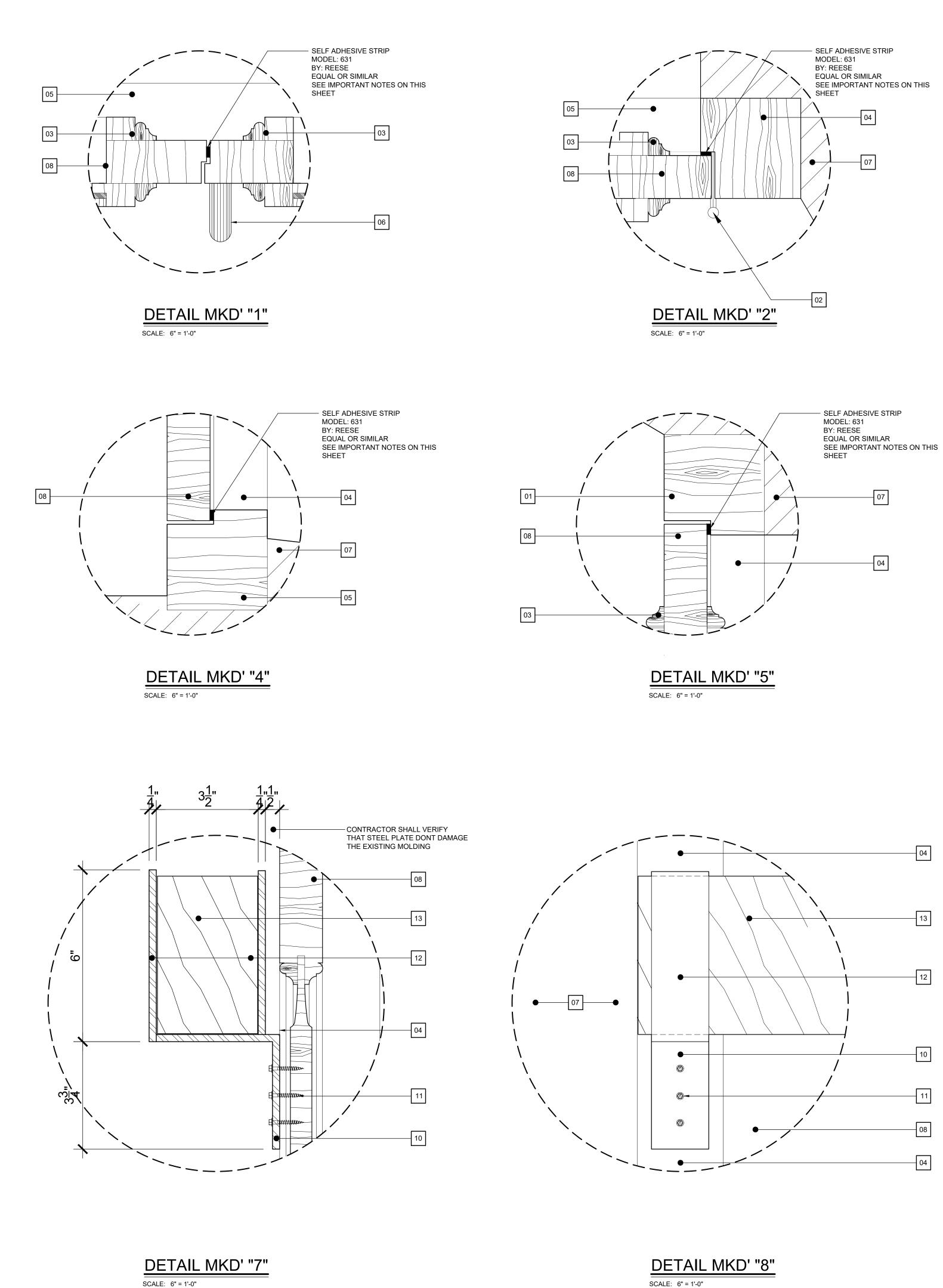


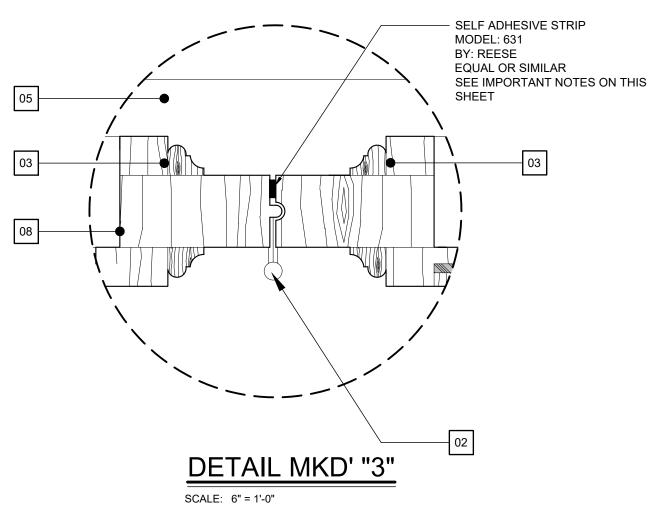


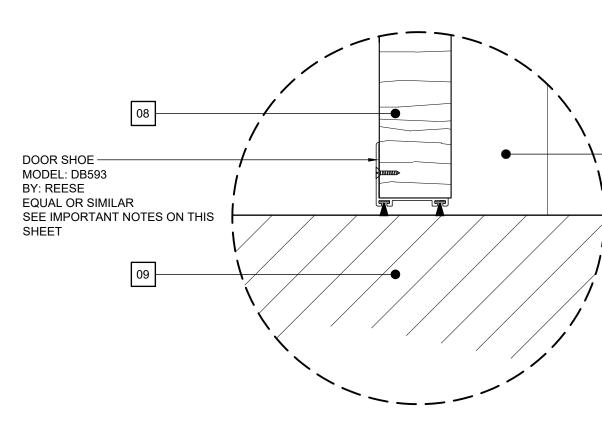
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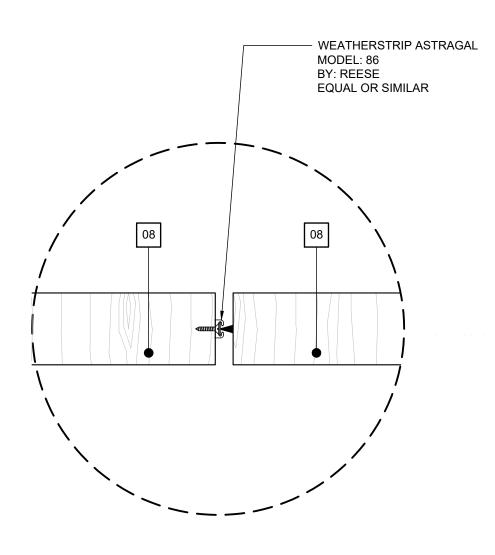
	DOORS KEY NOTES:	
	01 EXISTING TOP DOOR WOOD FRAME TO REMAIN. 02 EXISTING DOOR HINGES TO REMAIN (TYPICAL).	
	EXISTING TOP VINTAGE DUTCH BOLT SURFACE	
ON SHEET A-2.10	LOCKING DEVICE TO REMAIN (TYPICAL).	ENGINEERED ADVANTAGE, PSC
	CE EXISTING FIXED GLASS TO REMAIN.	P.O. BOX 6025
	CE EXISTING WINDOW WOOD JALOUSIE TO REMAIN.	San Juan, Puerto Rico 00914 p. 787-756-6032 email.pjvagnetti@eapsc.net
	07       EXISTING SIDE DOOR WOOD FRAME TO REMAIN.         08       EXISTING BOTTOM WINDOW WOOD FRAME TO REMAIN.	
ON SHEET A-2.10	existing Bottom Vintage Dutch Bolt Surface	
10	MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL).	
	11   EXISTING WOOD FIXED PANEL TO REMAIN.	
	12 EXISTING INTERIOR FLOOR FINISH TO REMAIN.	
	<ul><li>13 EXISTING EXTERIOR FLOOR FINISH TO REMAIN.</li><li>14 EXISTING DOOR MOLDING TO REMAIN (TYPICAL).</li></ul>	
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	16 EXISTING TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	
	17 EXISTING BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN.	шсэ
	18 EXISTING DOOR HANDLE TO REMAIN.	
	19 NEW TOP VINTAGE DUTCH BOLT SURFACE LOCKING DEVICE TO REMAIN (TYPICAL).	< Z
	20 NEW BOTTOM VINTAGE DUTCH BOLT SURFACE	
	MOUNTED LOCKING DEVICE TO REMAIN (TYPICAL). 21 NEW TOP WOOD DOOR MANUAL FLUSHBOLT VERTICAL	<u>ר א</u>
	LOCKING DEVICE TO REMAIN.	2 1
	22 NEW BOTTOM WOOD DOOR MANUAL FLUSHBOLT VERTICAL LOCKING DEVICE TO REMAIN. SEE DETAILS	0 —
	<ul><li>23 NEW WOODEN HORIZONTAL LOCKING DEVICE (BARRICADE TYPE).</li><li>24 EXISTING ASTRAGAL TO REMAIN.</li></ul>	L D
	23     EXISTING ASTRAGAL TO REMAIN.       23     EXISTING TOP DOOR METAL FRAME.	z m
	26 EXISTING SIDE DOOR METAL FRAME.	
	27 NEW HORIZONTAL SURFACE LOCKING DEVICE. SEE DETAIL MK'D "5" ON SHEET A-2.12	
	28 3M SAFETY AND SECURITY WINDOW FILM (EQUAL OR SIMILAR)	
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		DRAWN BY: D. LUGO
		P. J. VAGNETTI           DATE:         2021-09-09
		PROJECT NO: 20-720
	IMPORTANT NOTES ABOUT DOORS IN THIS PROJECT	NO. REVISION DATE.
	1. ALL DOORS DIMENSIONS IN ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH DOORS DIMENSIONS	
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	INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.	SHEET TITLE:
	3. DOORS SHALL BE REPAIRED (IF NEEDED) AND FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING &	EXISTING DOORS
	PROPOSED), PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER OPERATION OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND	ELEVATIONS W/ PROPOSED LOCKING HARDWARE
	WEATHERSTRIP MATERIAL.	
	4. PAINT OF DOORS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.	PAGE NUMBER
	5. SEE IMPORTANT NOTES ABOUT DOORS AND WINDOWS DETAILS ON SHEETS A-2.10 & A-2.11.	A-2.9
	6. FOR LOCKING DEVICES QUANTITIES OF EACH DOORS REFER TO SHEET A-2.0b.	







DETAIL MKD' "6" SCALE: 6" = 1'-0"



SCALE: 6" = 1'-0"

DETAIL MKD' "9" SCALE: 6" = 1'-0"

- 04

03

- WINDOWS & DOORS KEY NOTES:
- 01 EXISTING TOP WINDOW OR DOOR WOOD FRAME TO REMAIN.
- 02 EXISTING WINDOW OR DOOR HINGES TO REMAIN (TYPICAL).
- 03 EXISTING WOOD MOLDING TO REMAIN (TYPICAL).
- 04 EXISTING WOOD VERTICAL FRAME TO REMAIN.
- 05 EXISTING WOOD HORIZONTAL BOTTOM FRAME TO REMAIN.
- 06 EXISTING WINDOW HANDLE TO REMAIN.
- 07 EXISTING MASONRY WALL TO REMAIN.
- 08 EXISTING WOOD WINDOW OR DOOR.
- 09 EXISTING FLOOR TO REMAIN.
- 10 NEW L 4-1/2" X 4"1/2" X1/4" PAINTED IN FLAT BLACK COLOR. 11 NEW SD #10 X1-1/2" SCREWS ANCHORED INTO EXISTING WOOD FRAME SCREWS HEAD SHALL BE PAINTED IN FLAT BLACK COLOR.
- 12 NEW PL 5-3/4" X 2" X 1/4" PAINTED IN FLAT BLACK COLOR.
- 13 NEW 3-1/2" X 5-1/2" X 5'-0" APPROX. (VERIFY ON FIELD) LONG WOOD

## **IMPORTANT NOTES ABOUT WINDOWS & DOORS** DETAILS IN THIS PROJECT

1. ALL DOORS & WINDOWS ELEVATIONS AND SECTIONS ARE FOR REFERENCE. CONTRACTOR SHALL VERIFY EACH DOOR AND WINDOW DIMENSIONS INCLUDING MOLDINGS, FRAMES AND DOOR LEAVES IN ORDER TO COORDINATE THE PROPER INSTALLATION OF THE PROPOSED LOCKING HARDWARE AND WEATHERSTRIP COMPONENTS.

2. CONTRACTOR SHALL SUPPLY SHOP DRAWINGS FOR THE INSTALLATION OF EACH LOCKING HARDWARE AND WEATHER STRIP COMPONENTS.

3. DOORS AND WINDOWS SHALL BE REPAIRED AND OR ALIGNED (IF NEEDED) AND FINISHED IN ORDER TO MAINTAIN THE PROPER OPERATION OF LOCKING HARDWARE (EXISTING & PROPOSED), PROPER SEAL OF THE WEATHERSTRIP MATERIAL AND GOOD AESTHETIC AFTER THE INSTALLATION OF LOCKING HARDWARE AND WEATHERSTRIP MATERIAL.

4. PAINT OF DOORS AND WINDOWS THAT HAVE TO BE PAINTED (IF NEEDED) WILL BE SELECTED BY ARCHITECT / ENGINEER.

5. DOORS AND WINDOWS GAPS BETWEEN LEAVES AND/OR FRAME MAY VARIES. CONTRACTOR SHALL VERIFY EACH DOOR AND WINDOW IN ORDER TO MAKE SURE THAT WEATHERSTRIP MATERIAL WILL COVER THAT GAP BETWEEN DOORS AND WINDOW LEAVES AND OR FRAME AND PROPERLY SEAL THE GAP.

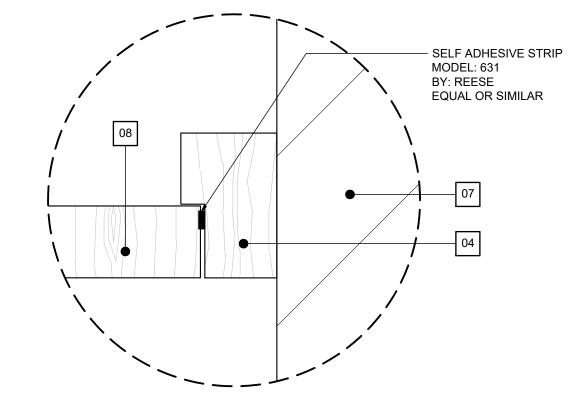
6. CONTRACTOR SHALL SUBMITT SHOP DRAWINGS OF THE PROPER INSTALLATIONS AND OR FABRICATIONS.

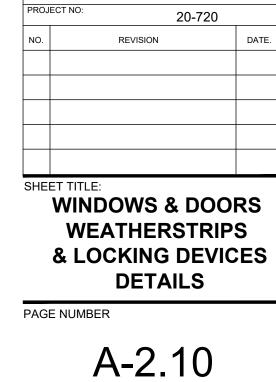
7. CONTRACTOR SHALL INSTALL ALL WEATHERSTRIPS AND LOCKING DEVICES AS PER MANUFACTURER INSTRUCTION AND OR RECOMMENDATIONS.

8. CONTRACTOR SHALL TEST THE WEATHERSTRIP MATERIAL ADHESION IN A SMALL AREA IN DOOR, WINDOWS AND FRAMES BEFORE PROCEEDING ENTIRELY. CONTRACTOR IS RESPONSIBLE FOR BE SURE THAT THE SURFACE IS SMOOTH AND PREPARE SURFACE IF NECESSARY AS REQUIRED BY MANUFACTURER SPECIFICATIONS.

9. CONTRACTOR SHALL VERIFY THAT DOORS AND WINDOWS PROPERLY OPERATES (CLOSE, OPEN PROPERLY) INCLUDING ALL LOCKING DEVICES, AFTER WEATHERSTRIP AND LOCKING DEVICES INSTALLATIONS.

10. CONTRACTOR SHALL VISIT THE BUILDING TO GET FAMILIARIZED WITH THE ENTIRE SCOPE OF WORK.





D. LUGO

2021-09-09

P. J. VAGNETTI

DETAIL MKD' "10" SCALE: 6" = 1'-0"



ENGINEERED

p. 787-756-6032 email.pjvagnetti@eapsc.net

ADVANTAGE, PSC

San Juan, Puerto Rico 00914

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P.O. BOX 6025

RIC STREET , PUERTO ADDRESS SAN JOSE S SAN JUAN, |

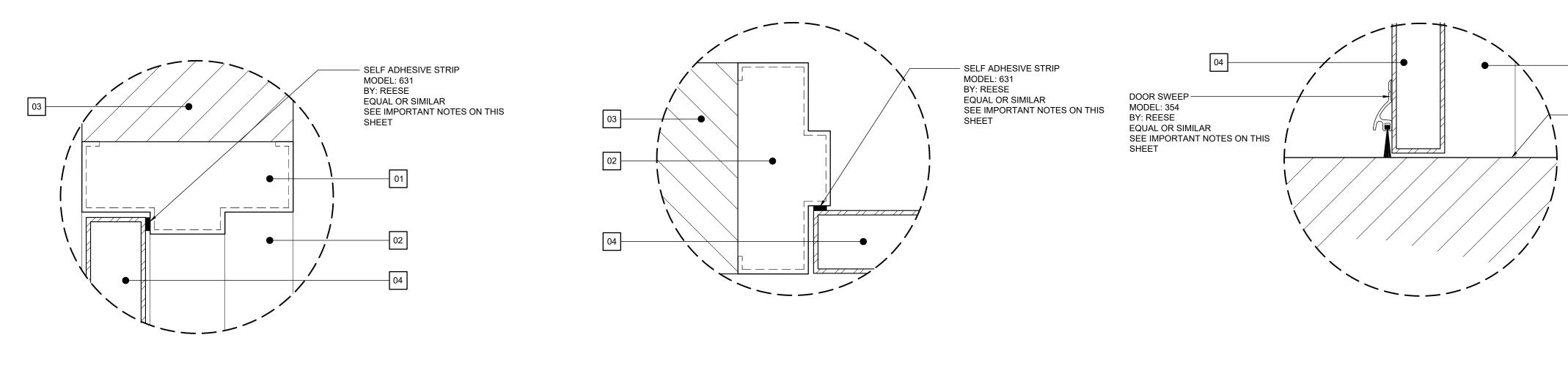


SEAL:

DRAWN BY:

REVISED BY:

DATE:





# DETAIL MKD' "12"

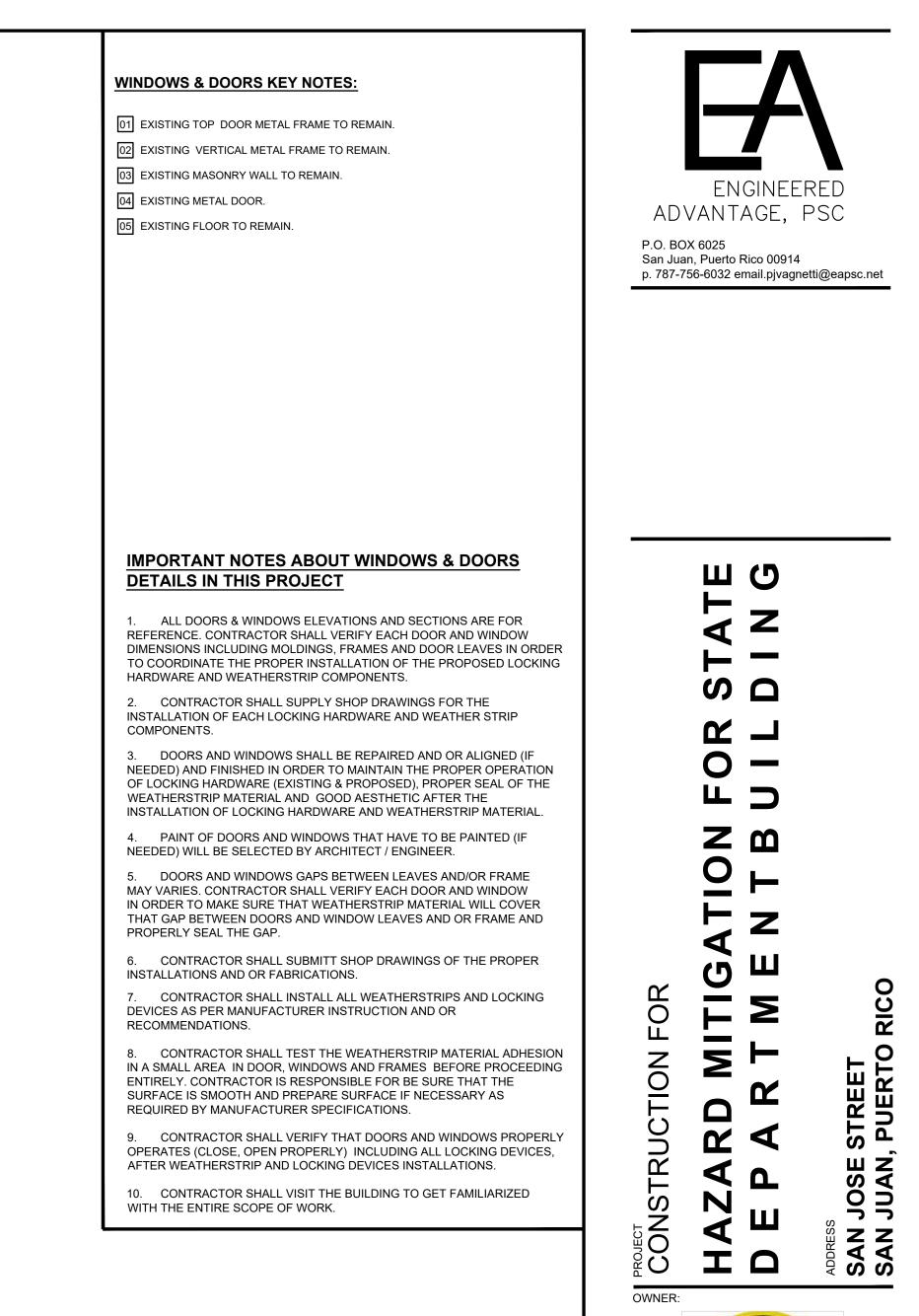
SCALE: 6" = 1'-0"

# DETAIL MKD' "13"

02

- 05

SCALE: 6" = 1'-0"





SEAL:

DRAWN BY: D. LUGO REVISED BY: P. J. VAGNETTI DATE: 2021-09-09 PROJECT NO: 20-720 REVISION DATE. SHEET TITLE: WINDOWS & DOORS WEATHERSTRIPS & LOCKING DEVICES DETAILS PAGE NUMBER A-2.11

