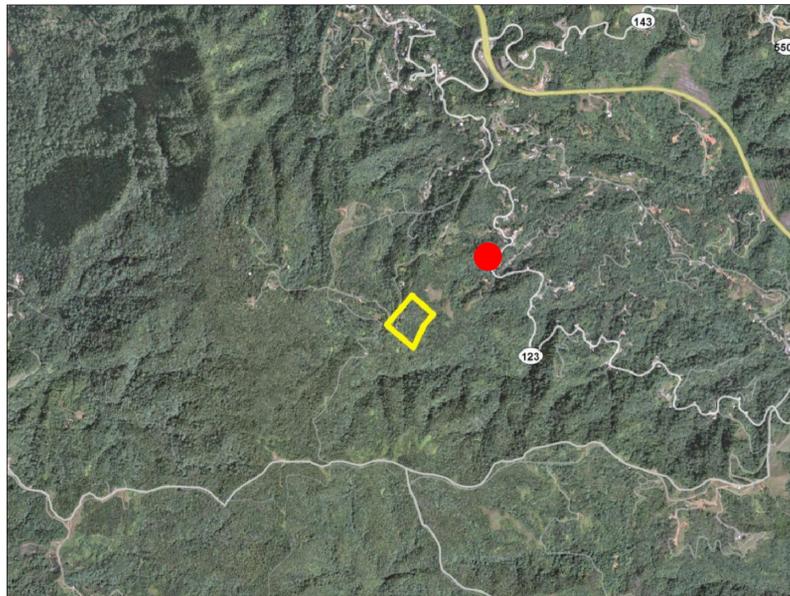


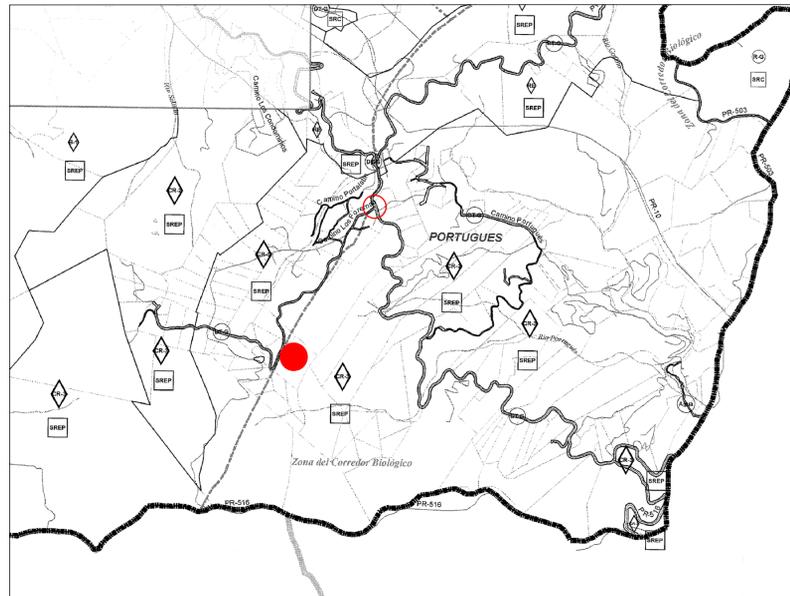
SHPO Deliverables	
Issue	Date
ISSUE FOR REV.	12-6-2022
ISSUE FOR BID.	02-17-2023
ISSUE FOR BID.	04-14-2023
ISSUE FOR BID.	06-29-2023



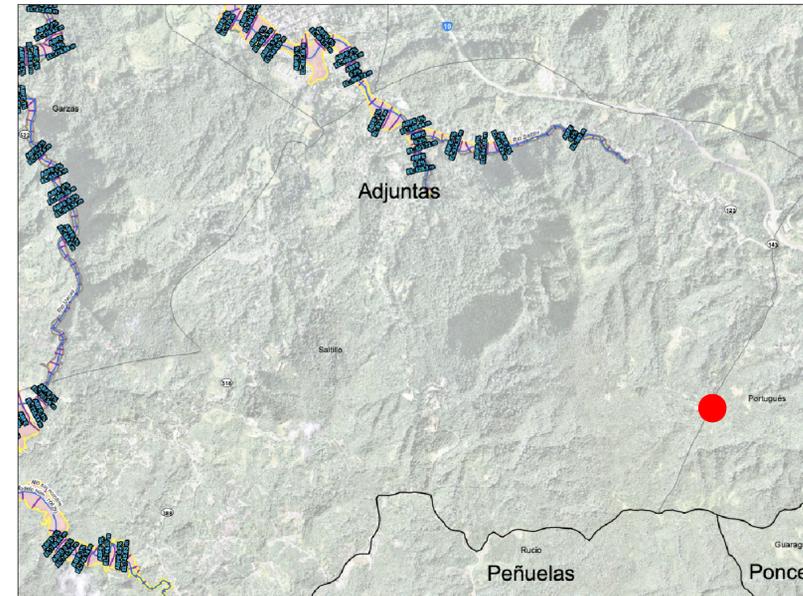
PROPERTY IMAGE  
IMAGE TAKEN ON SITE VISIT



LOCATION MAP



MAPA DE CLASIFICACIÓN DE SUELOS  
HOJA 12 - 10 DE MAYO DEL 2011



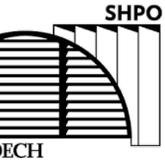
FLOOD MAP  
PANEL 1090H MAP 72000C1090H - MAY 25, 2018

# RESTAURACIÓN CASA LOS FOREMAN

CATASTRO 290-000-010-29  
C. Los Foreman, Adjuntas, 00601



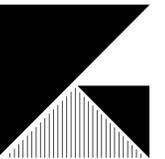
NATIONAL PARK SERVICE



STATE HISTORIC  
PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

FOREMAN HOUSE  
ADJUNTAS, PUERTO RICO

Architect of Record:  
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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadas o Corporaciones Públicas con jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 6 de julio de 1978, según enmendada, según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia y así por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por lo DGPR.

PROFESSIONAL TEAM:

Victor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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Drawn by  
GM | EM | CB | LR

Reviewed by  
VV

SHEET TITLE AND NUMBER:

T-01

TITLE SHEET

ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION

BY: V.M.V. DATE: JUNE 29, 2023

**DEMOLITION NOTES:**

- EXISTING CONDITIONS ILLUSTRATED AS OF JUNE 28, 2022
- IT IS NOT THE INTENTION OF THE A/E FIRM TO COVER ALL REQUIRED DEMOLITION AND CLEANING WORK IN THESE DRAWINGS, NOR TO ANTICIPATE EVERY CIRCUMSTANCE UNDER WHICH SPECIFIC TASKS SHALL BE PERFORMED. AS THE INTENTION IS TO ILLUSTRATE ONLY THE MOST SIGNIFICANT DEMOLITION WORK IN THE DRAWINGS, THE G.C. SHALL BE RESPONSIBLE FOR VERIFYING WHICH RESTORATION WORKS REQUIRE DEMOLITION.
- ALL DEMOLITION WORK NOT SHOWN IN DRAWINGS, BUT NECESSARY TO PERFORM THE ENTIRE SCOPE OF THE PROJECT SHALL BE DONE BY THE GENERAL CONTRACTOR AT NO EXTRA COST AND TIME NO MATTER THE SIZE.
- IT IS THE INTENTION OF THE A/E FIRM TO PRESERVE HISTORIC AS MUCH AS POSSIBLE AND ONLY REPLACING MATERIAL WHEN ABSOLUTELY NECESSARY.
- CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF ALL ITEMS WITHIN THE PROJECT AREA.
- SUBMIT SCHEDULE INDICATING PROPOSED SEQUENCE OF OPERATIONS FOR SELECTIVE DEMOLITION WORK TO THE OWNER FOR REVIEW PRIOR TO COMMENCEMENT OF WORK. INCLUDE COORDINATION FOR SHUT-OFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED, TOGETHER WITH DETAILS FOR DUST AND NOISE CONTROL. PROPOSED SEQUENCE OF OPERATION SHALL ENSURE THE INHABITANTS ARE UNDISTURBED.
- THE CONTRACTOR, PRIOR TO COMMENCEMENT OF THE WORK, SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE PROJECT'S SITE AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS WHICH MIGHT AFFECT PROPER DEMOLITION AND CONSTRUCTION WORKS SCHEDULE AND/OR PERFORMANCE. THEREFORE, THE CONTRACTOR SHALL CERTIFY THAT HE HAS VISITED THE PROJECT SITE AND FAMILIARIZED HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO ENTERING INTO A CONSTRUCTION AGREEMENT WITH THE OWNER. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- DURING DEMOLITION PHASE AND CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INSTALL EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, G.C. TO STOP WORK IN THAT AREA AND NOTIFY OWNER IN WRITING. GC SHALL COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
- NONE OF THE WALLS TO DEMOLISH ARE REINFORCED CONCRETE. IF THE CONTRACTOR FINDS A REINFORCED CONCRETE WALL DURING DEMOLITION, THE CONTRACTOR SHALL STOP CONSTRUCTION IMMEDIATELY AND REPORT TO THE ARCHITECT.
- THE OWNER WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL LOOSE ITEMS SUCH AS ARTWORK, FRAMED PICTURES, FURNITURE, ETC....
- CONTRACTOR MUST PRESERVE ALL HISTORIC ITEMS INDICATED TO BE REMOVED AND STORE THEM IN A SECURE PLACE UNTIL REVIEW BY A/E FIRM. ITEMS REVIEWED AND APPROVED BY A/E FOR REMOVAL SHALL DISPOSED OF BY THE CONTRACTOR.
- ALL ITEMS INDICATED TO BE RELOCATED ARE TO BE CAREFULLY REMOVED, CLEANED, REPAIRED TO A LIKE-NEW CONDITION AND STORED IN A SECURE PLACE UNTIL REINSTALLED AS SHOWN ON CONSTRUCTION PLAN OR RCP.
- CONTRACTOR MUST FOLLOW ALL PROPER AND LEGAL PROCEDURES REGARDING WASTE DISPOSAL. G.C. SHALL PROVIDE A/E EVIDENCE OF DISPOSAL AT THE APPROPRIATE LANDFILL SITE.
- THE OWNER SHALL BE CONTACTED AND NOTIFIED IMMEDIATELY IF ASBESTOS OR LEAD PAINT ARE FOUND IN ANY AREAS OR STRUCTURES OF THE PROJECT NOT PREVIOUSLY IDENTIFIED BY THE ENVIRONMENTAL CONSULTANT.
- TRASH AND DEBRIS TO BE REMOVED DAILY. KEEP SITE CLEAN.
- ALL SCRAP MATERIAL FROM THE DEMOLITION WORKS SHALL BE LEGALLY DISPOSED.
- THE CONTRACTOR SHALL TAKE THE REQUIRED MEASUREMENTS TO CONTROL THE DEMOLITION DUST FROM SPREADING OUTSIDE OF AREAS THAT ARE GOING TO BE INTERVENED. WATER SPRINKLING SHALL NOT BE USED AS A FORM OF DUST CONTROL.
- THE CONTRACT CANNOT STORE SCRAP MATERIALS FROM DEMOLITIONS OUTSIDE OF THE DESIGNATED AREAS. DURING THE PRE-CONSTRUCTION PHASE THE G.C. SHALL CONSULT WITH A/E WHICH ARE THE DESIGNATED AREAS FROM SCRAP MATERIALS.
- ALL CONSTRUCTION, DEMOLITION & RENOVATION ACTIVITIES SHALL COMPLY WITH NPPA 241, OSHA AND ANY REGULATION THAT INTERFERES WITH THE HEALTH, WELFARE, AND SAFETY OF HIS EMPLOYEES AND FUTURE BUILDING OCCUPANTS.
- G.C. SHALL MAINTAIN ON SITE FIRE EXTINGUISHERS TO PROTECT THE HISTORIC PROPERTY IN THE EVENT OF FIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL OSHA REQUIREMENTS & NORMATIVES.
- EXIT ACCESS AND EXITS ARE TO REMAIN CLEAR AND UNOBSTRUCTED.
- ANY PART OF THE WORK AND/OR THE EXISTING BUILDING DAMAGED BY THE DEMOLITION PHASE SHALL BE RESTORED TO ITS ORIGINAL CONDITION ACCORDING TO A/E INSTRUCTIONS AT NO COST TO THE OWNER.
- ALL DEMOLITION/CONSTRUCTION WORKS SHALL BE COORDINATED WITH THE OWNER IN ORDER TO PREVENT AND AVOID POSSIBLE CONFLICTS WITH THE OWNER'S NORMAL OPERATING CONDITIONS.
- THE CONTRACTOR MUST INCLUDE IN THE ECONOMIC PROPOSAL A DETAILED DESCRIPTION OF THE MEANS AND METHODS THAT WILL BE DONE DURING DEMOLITION PHASE TO MINIMIZE AIR POLLUTION.
- GC SHALL BE RESPONSIBLE FOR DEMOLITION MEANS AND METHODS AS WELL AS TO PROVIDE THE NECESSARY BRACING TO GUARANTEE STRUCTURAL STABILITY DURING THE DEMOLITION/REMOVAL PROCESS OF THOSE ELEMENTS INSTRUCTED ON PLANS AND DURING NEW CONSTRUCTION IN CASE OF ANY STRUCTURAL COLLAPSE OF ANY ELEMENT TO REMAIN, THESE SHALL BE REPLACED USING ORIGINAL MATERIALS, AT NO COST TO OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO DESIGN, SUBMIT & OBTAIN THE CES PLAN APPROVAL IF APPLICABLE.
- DURING THE DEMOLITION PROCESS, THE GENERAL CONTRACTOR IS RESPONSIBLE IN MAINTAINING A HEALTHY AIR QUALITY THAT DOES NOT AFFECT THE HEALTH OF HIS EMPLOYEES.
- G.C. SHALL PROTECT ALL ITEMS THAT ARE TO REMAIN SUCH AS FLOORS, WALLS, FINISHES, INFRASTRUCTURE, CEILINGS, DOORS, EQUIPMENT, DOOR HINGES, RAILINGS, BALUSTERS, WALL BASES, LAMPS, ETC....
- IF ANY OTHER ELEMENT NOT INSTRUCTED IN THIS DRAWINGS IS NEEDED TO BE REMOVED IN ORDER TO FULFILL THE PROJECT SCOPE, G.C. SHALL NOTIFY AND CONFIRM WITH THE ARCHITECT. SUCH WORK SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- IF THE COMPLETION OF NEW ENGINEERING INFRASTRUCTURE REQUIRED ADDITIONAL DEMOLITION BY THE G.C. IN WALLS, CEILINGS AND FLOORS THAT IS NOT EXPLICITLY SHOWN IN DRAWINGS. G.C. SHALL CONTEMPLATE THIS ADDITIONAL DEMO AND THE PATCHING AND REPAIRS REQUIRED TO LEAVE AREA AS NEW.
- IF PATCHING AND REPAIRS MAY REQUIRE NEW MOLDINGS, NEW GYPSUM, NEW WALL BASES, NEW A.C.T., NEW FLOORS, AMONG OTHERS. NEW WOOD BASES, TRIMS, MOLDINGS AND CASINGS SHALL HAVE THE LENGTH OF THE ORIGINAL ELEMENT BEING REPLACED. THE INTENTION IS TO MINIMIZE JOIN AND SHORT MEMBERS.
- G.C. SHALL DISCUSS WITH ARCHITECT PATH OF NEW INFRASTRUCTURE PRIOR TO DEMOLITION. IN ORDER TO DISCUSS HOW TO MINIMIZE DEMO, PATCHING, AND REPAIRS OF EXISTING WALLS/CEILINGS/FLOORS. G.C. REQUIRES ARCHITECT APPROVAL TO PROCEED WITH DEMOLITIONS.
- HISTORIC INTERIORS SHOULD BE PROTECTED FROM POTENTIAL DAMAGE DURING CONSTRUCTION WORK IF ANY DAMAGE DOES OCCUR, THE CONTRACTOR SHALL RESTORE ANY DAMAGE TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL CONTAMINATED MATERIALS IDENTIFIED BY ENVIRONMENTAL HEALTH & SAFETY SERVICES SHALL BE REMOVED AND SHOULD BE DONE AS PER ICA AND EPA REGULATION. G.C. SHALL OBTAIN ALL THE NECESSARY PERMITS TO PERFORM THE WORKS AND LATER SUBMIT TO THE OWNER ALL THE CERTIFICATIONS REQUIRED BY LAW STATING THAT ALL CONTAMINATED MATERIALS WERE REMOVED FROM THE PROJECT AND LEGALLY DISPOSED.
- ALL ELECTRICAL WORK SHALL BE DONE BY A LICENCED ELECTRICIAN.
- G.C. SHALL ENSURE A SUPERINTENDENT MUST BE PRESENT DURING THE ENTIRE DEMOLITION PROCESS.

**GENERAL NOTES:**

- THE DRAWINGS AND NOTES COMPLY, TO THE BEST OF OUR KNOWLEDGE WITH THE APPLICABLE MINIMUM BUILDING CODE.
- THE DRAWINGS DEMOLITION SHOWN ARE A GUIDE FOR THE RESTORATION AND DOES NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GC TO CORRELATE DEMO AND REPAIRS/NEW CONSTRUCTION.
- DIMENSIONS ON DRAWING MAY VARY SLIGHTLY.
- DUE TO THIS BEING A HISTORIC BUILDING, NOT ALL WINDOWS AND DOORS ARE IDENTICAL IN THEIR DIMENSIONS, THE G.C. SHALL BE RESPONSIBLE FOR THE WINDOW/ DOOR REPLACEMENTS TO FIT IN THEIR ORIGINAL LOCATION.
- ALL PLAN DIMENSIONS TAKE PRECEDENCE OVER THE SCALING OF THE PLANS. THE DIMENSIONS ARE CALCULATED AND ANNOTATED BY COMPUTER AND ROUNDED TO THE NEAREST INCH. LOCATING PARTITIONS TO CENTERLINE OF MULLIONS (WHERE APPLICABLE) SHALL TAKE PRECEDENCE OVER GIVEN DIMENSIONS.
- ALL WORK SHALL COMPLY WITH THE PROVISIONS OF THE LOCAL BUILDING CODE AND ALL APPLICABLE ORDINANCES AND PROVISIONS.
- THE CONTRACTOR SHALL SUBMIT WITH HIS BID PROPOSAL A COMPLETE CONSTRUCTION SCHEDULE TO THE OWNER, WHICH COORDINATES ALL WORK WITH SUPPLIERS AND SUB-CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR OR ANY OTHER PERSONS PERFORMING WORK OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- EACH CONTRACTOR & SUBCONTRACTOR SHALL CARRY PUBLIC LIABILITY, PROPERTY DAMAGE AND WORKMAN'S COMPENSATION INSURANCE AND SHALL PROVIDE OWNER WITH A VALID CERTIFICATE BEFORE STARTING CONSTRUCTION.
- ALL CONTRACTORS SHALL PROTECT THE WORK OF OTHER TRADES. ANY & ALL CONFLICTS BETWEEN TRADES ARE TO BE COORDINATED BY THOSE TRADES AND NOTIFICATION OF SUCH CONFLICTS MADE TO THE ARCHITECT AND THE OWNER. ANY DAMAGES SHALL BE REPAIRED BY THE RESPONSIBLE PARTY AT HIS EXPENSE.
- THE CONTRACTOR SHALL EXAMINE ALL AREAS IN WHICH WORK IS TO BE CONSTRUCTED AND SHALL REPORT ANY SUCH WORK WHICH IS NOT IN SUITABLE CONDITION TO RECEIVE WORK UNDER THIS CONTRACT. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE CONDITION OF THE FINISHED WORK AFTER THE WORK UNDER THIS CONTRACT IS STARTED.
- THE CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL VERIFY ARCHITECT'S DIMENSIONS AND DETAILS PRIOR TO INITIAL BID SUBMITTAL. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, DISCREPANCIES AND/OR CONFLICTS IN CONSTRUCTION DOCUMENTS, BEFORE BID SUBMITTAL, WHICH WOULD INTERFERE COMPLETION OF THIS WORK OR WHICH WOULD AFFECT THE BID PRICE. ALL DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT/OWNER PRIOR TO FINAL BID SUBMITTAL SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER. DISCREPANCIES IN DRAWINGS SHALL BE DECIDED BY THE ARCHITECT.
- ALL WORK IS TO CONFORM TO CONSTRUCTION DRAWINGS AND SPECIFICATIONS. ANY CONDITIONS IN THE FIELD AFFECTING THE DESIGN CONCEPT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BID SUBMITTAL.
- ALL WORK SHALL BE LIMITED TO THAT SHOWN ON THE PERMIT DOCUMENTS. NO ADDITIONAL WORK SHALL BE DONE WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND ARCHITECT. ANY ADDITIONAL WORK PERFORMED WITHOUT THIS CONSENT SHALL BE DONE AT THE CONTRACTOR'S SOLE EXPENSE. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN, EXISTING AND/OR NOTED.
- GENERAL CONTRACTOR SHALL HAVE A SUPERVISOR ON SITE WHILE ANY WORK IS BEING DONE.
- PROVIDE AND MAINTAIN AT A CONVENIENT LOCATION WITHIN THE JOB SITE, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT DOCUMENTS INCLUDING ALL THE LATEST SHOP DRAWINGS, ADDENDUMS, REVISIONS AND SUPPLEMENT SHEETS FOR REFERENCE AND COORDINATION FOR CONSTRUCTION.
- THE G.C. SHALL BE RESPONSIBLE TO ALWAYS HAVE AVAILABLE WITHIN THE JOB SITE THE DIGITAL INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE WEATHER AS TO MAINTAIN THE WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE. ANY WORK DAMAGED BY FAILURE OF THE CONTRACTOR TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT CONTRACTORS EXPENSE.
- ALL CHANGE ORDERS SHALL BE SUBMITTED IN WRITING AND SHALL BE SIGNED BY OWNER AND ARCHITECT PRIOR TO EXECUTION.
- CONTRACTOR SHALL COORDINATE AND EXPEDITE THE PROCUREMENT OF "LONG LEAD" ITEMS TO ASSURE PROMPT DELIVERY AND INSTALLATION BY MILESTONE DATES ON THE CONSTRUCTION SCHEDULE. ADDITIONAL TIME WILL NOT BE GIVEN TO THE G.C. IF THEY HAVE NOT MET THE SCHEDULED INSTALLATION TIME FOR THESE ITEMS. THE CONTRACTOR SHALL PURCHASE, COORDINATE & INSTALL ALL APPLIANCES AND EQUIPMENT UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PERMIT DRAWINGS. SPECIFICATIONS AND INSTALLATIONS METHODS PROVIDED BY MANUFACTURE SHALL BE STRICTLY FOLLOWED AND ARE HEREWITH MADE A PART OF THESE DOCUMENTS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY ELECTRICAL OR MECHANICAL EQUIPMENT MAINTENANCE, INSTRUCTION MANUALS, AND ALL OTHER CLOSE-OUT DOCUMENTS TO THE OWNER FOR REVIEW AT FINAL COMPLETION.
- ALL WORK SHALL BE DONE IN A NEAT AND SKILLFULL MANNER AND IN ACCORDANCE WITH ALL GOVERNING BODIES, RULES, AND REGULATIONS. REMOVE RUBBISH AND DEBRIS DAILY, LEAVE JOB CLEAN UPON COMPLETION OF WORK, INCLUDING CLEANING OF HARDWARE, FIXTURES, AND GLASS, AND REMOVING OF STAINS, DUST, DIRT, AND PAINT, AND POLISHING OF ALL FINISHED FLOORS AND CABINERY.
- ALL MATERIALS & EQUIPMENTS SHALL BE INSTALLED AS PER MANUF. RECOMMENDATION AND THE BEST PRACTICES OF THE INDUSTRY.
- G.C. SHALL ALWAYS FOLLOW MANUFACTURER RECOMMENDATIONS FOR THE MANAGE, QUALITY, INSTALLATION AND/OR CONSTRUCTION OF ANY MATERIAL, EQUIPMENT, SYSTEM AND/OR ELEMENT CONTAIN ON THE PROJECT.
- GENERAL CONTRACTOR SHALL PROVIDE EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
- CONTRACTOR IS NOT ALLOW TO CUT AND PATCH STRUCTURAL ELEMENTS IN A MANNER THAT WOULD REDUCE THEIR LOAD-CARRYING CAPACITY OR LOAD-DEFLECTION RATIO.
- OBTAIN APPROVAL FROM OWNER BEFORE CUTTING AND PATCHING THE FOLLOWING OPERATING BUILDING ELEMENTS OR SAFETY RELATED SYSTEMS: PRIMARY OPERATIONAL SYSTEMS AND EQUIPMENT, AIR OR SMOKE BARRIERS, FIRE PROTECTION SYSTEMS, CONTROL SYSTEMS, COMMUNICATION SYSTEMS, AND ELECTRICAL WIRING SYSTEMS.
- THE GENERAL CONTRACTOR, SUB-CONTRACTORS AND ALL VENDORS ARE TO VERIFY ALL CLEARANCES (CORRIDORS, STAIRS, ELEVATORS, ETC.) REQUIRED FOR DELIVERIES; PASSAGE OF ALL JOB MATERIALS OR EQUIPMENT. THE OWNER'S PROJECT MANAGER SHALL BE INFORMED OF ANY POTENTIAL OR ACTUAL PROBLEMS WHICH, IN ANY WAY, MIGHT AFFECT WORK, SCHEDULING, ANY VENDORS, SUBCONTRACTORS, ETC. INCLUDING AFTER HOURS DELIVERIES IMPOSED BY OWNER.
- THE CONTRACTOR SHALL INCLUDE ALL TEMPORARY UTILITIES (IF APPLICABLE) INCLUDING ELECTRICITY, WATER AND TELEPHONE IN HIS BIDS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RE-DOING ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS AND DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS, AND CORRECT ANY DEFECTS DUE TO FAULTY MATERIALS AND WORKMANSHIP WHICH APPEAR WITHIN ONE YEAR FROM DATE OF MOVE-IN. THESE PROVISIONS APPLY, ALSO, TO WORK DONE BY DIRECT EMPLOYEES OF THE CONTRACTOR, SUB-CONTRACTORS OR VENDORS. NOTHING IN THE ABOVE INTENDS OR IMPLIES THAT THIS RESPONSIBILITY SHALL APPLY TO WORK WHICH HAS BEEN ABUSED OR NEGLECTED BY THE OWNER OR HIS SUCCESSOR IN INTEREST.
- ALL METAL WELDING SHALL BE CONTINUOUS AND SANDED FOR SMOOTH FINISH.
- ALL METAL MATERIALS THAT REQUIRED SCREWS OR BOLTS SHALL USE THE METAL MATERIAL IN KIND.
- ARCHITECT HAS FINAL WORDS OF CONFLICTING INSTRUCTIONS IN DRAWINGS. IF G.C. FINDS CONFLICTING INSTRUCTIONS G.C. SHALL NOTIFY THE ARCHITECT PRIOR TO CREATING WORK, FOR ARCHITECT DECISION.
- ALL CONSTRUCTION SITE SHALL BE EXTREMELY VACUUMED AND CLEANED BEFORE FINAL DELIVERY TO OWNER. NO DUST WILL BE ACCEPTED.
- ONCE THE WORK IS COMPLETED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SUBMIT DIGITAL AS-BUILT PLANS TO THE ARCHITECT.
- NO STRUCTURAL MEMBER SHALL BE NOTCHED, CUT, ALTERED OR MOVED IN ANY WAY WITHOUT PREVIOUS WRITTEN AUTHORIZATION FROM ARCHITECT OR STRUCTURAL ENGINEER. THERE SHALL BE NO PENETRATIONS IN PRE-STRESSED BEAMS OR JOISTS AND NO DRILLING OR SHOOTING HANGERS OR PINS IN PRE-STRESSED BEAMS OR PRE-CAST JOISTS.
- IF G.C. ENCOUNTERS MOLD, FUNGUS, TERMITE, AND/OR ANY HAZARD MATERIAL, THEY SHALL SUBMIT A WRITTEN REPORT WITH PICTURES AND IDENTIFY IN A FLOOR PLAN THE LOCATIONS AND SEND TO THE ARCHITECT VIA EMAIL IMMEDIATELY.
- FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING SET, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.
- G.C. SHALL BE RESPONSIBLE FOR ENSURING THEY RECEIVED THE ASBESTOS AND LEAD REPORTS DURING THE BIDDING PHASE. G.G. SHALL BE RESPONSIBLE FOR CONSIDERING THE PROJECT REQUIREMENTS THESE REPORTS CREATE AND INCLUDE IT IN THEIR BID PROPOSAL.
- GENERAL CONTRACTOR SHALL PROVIDE EXTENSIVE SIGNING IN WORKING AT PUBLIC AREAS TO WARN WORKERS AND GENERAL PUBLIC ABOUT UNSAFE AREAS. SIGNS SHALL COMPLY WITH OSHA REGULATIONS.
- PREPARATIONS FOR FACADE CLEANING SHALL DEPEND ON LEAD-CONTAINING PAINT. IF ACCORDING TO THE LEAD REPORT, THE FACADE DOES NOT CONTAIN LEAD PAINT, IT MAY BE CLEANED BY G.C. PRIOR TO PAINTING. IF ACCORDING TO THE LEAD REPORT, THE FACADE DOES CONTAIN LEAD PAINT, IT MUST BE CLEANED ACCORDING TO THE TECHNICAL SPECIFICATIONS FOR THAT PROCEDURE.
- THE G.C. SHALL BE RESPONSIBLE FOR PROVIDING FIRE EXTINGUISHERS TYPE ABC DURING THE CONSTRUCTION PROCESS AND HAVE THEM READILY AVAILABLE IN CASE OF FIRE.
- G.C. SHALL HAVE A CONSTRUCTION FIREMAN, WHO WILL REPORT TO THE CONSTRUCTION FOREMAN AND WILL BE PRESENT AT THE SITE WHEN WELDING AND CUTTING WORK IS BEING PERFORMED. THIS PERSON MUST VERIFY WORK BEING DONE DOES NOT CAUSE FIRES. PAYING SPECIAL ATTENTION TO WORKS THAT CAUSE SPARKS OR MOLTEN METAL, AND THAT COMBUSTIBLE MATERIALS ARE APPROPRIATELY COVERED WITH FIRE BLANKETS AND/OR OTHER APPROPRIATE FIRE PROTECTIVE MEASURES. THE CONSTRUCTION FIREMAN SHALL ALSO BE RESPONSIBLE FOR INSPECTING AND MAINTAINING FIRST AID AND FIRE PROTECTION EQUIPMENT ON SITE.
- SMOKING ON THE PROJECT SITE IS PROHIBITED. G.C. SHALL DISPLAY NO-SMOKING NOTICES AND TAKE REASONABLE MEASURES SO ENSURE THAT ALL PERSONS ARE AWARE OF THE BAN AND DO NOT SMOKE ON THE PROJECT SITE.
- G.C. SHALL INSTALL TEMPORARY FIRE DETECTION DEVICES THAT ARE DIRECTLY MONITORED AND ARE IN CLOSE PROXIMITY TO THE AREAS OF THE WORK.

**IMPORTANT NOTE**  
G.C. SHALL CONSIDER THAT ON ALL NOTES, THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.

**BIDDING SET**

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**IMPORTANT NOTE:**  
IT IS RECOMMENDED THAT THE CONSTRUCTION DRAWING SET BE PRINTED IN COLOR AS SOME OF THE PAGES USE COLOR AS A WAY OF DISPLAYING IMPORTANT INFORMATION.

**SCOPE OF WORK**

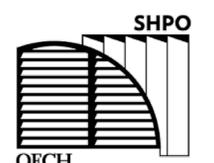
1.	BUILD ENTIRE WORKSHOP AS NEW, INCLUDING WINDOWS, DOOR AND ELECTRICAL WORK.
2.	CLEAN ENTIRE RESIDENCE'S WOOD SIDING.
3.	APPLY EXTERIOR WOOD FINISH TO ENTIRE EXTERIOR SIDING.
4.	REPAIR CHIMNEY AND INSTALL NEW CONCRETE CHIMNEY CAP.
5.	REMOVE ORGANIC MATERIAL FROM CONCRETE ROOF.
6.	REPAIR CRACKS IN CONCRETE ROOF / WATERPROOF CONCRETE ROOF.
7.	REPLACE EXISTING SKYLIGHTS.
8.	SELF-LEVEL TOPPING FINISH FLOOR FOR KITCHEN AND BATHROOM.
9.	REMOVE AND REPLACE VINYL FLOOR TILES FOLLOWING THE PROPER ASBESTOS ABATEMENT PROCEDURE IN KITCHEN AND BATHROOM.
10.	REPAIR CONCRETE KITCHEN WALL AND CEILING.
11.	REPAIR WOOD FLOOR PLANKS.
12.	PAINT INTERIOR KITCHEN.
13.	REFINISH ELECTRICAL BREAKER PANEL
14.	PROVIDE AND INSTALL SMOKE DETECTORS
15.	WOOD SUBFLOORING REPLACEMENT & CONCRETE TOPPING IN KITCHEN.
16.	INSTALL VAPOR BARRIER. (REMOVE AND REINSTALL WOOD SIDING)
17.	WORKSHOP ROOF WATERPROOFING
18.	FRESHWATER SYSTEM EQUIPMENT & FILTRATION

**NOTE:**  
TASKS MARKED IN RED IN THIS SECTION REFER TO ALTERNATES AND ARE NOT PART OF THE BASE SCOPE OF WORK.

**NOTE:**  
THIS SCOPE OF WORK TABLE IS ONLY FOR THE PURPOSE OF GUIDING THE G.C. IN UNDERSTANDING THE SCOPE AND SHALL IN NO WAY TAKE PRECEDENCE OVER THE DETAILED INSTRUCTIONS INCLUDED IN HE CONSTRUCTION DRAWINGS AND NOTES.



NATIONAL PARK SERVICE



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OFFICE OF THE GOVERNOR

**FOREMAN HOUSE**  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
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Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
1	NOTES UPDATE	06.29.23
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Drawn by  
GM | EM | CB | LR

Reviewed by  
VV

SHEET TITLE AND NUMBER:  
**T-02**

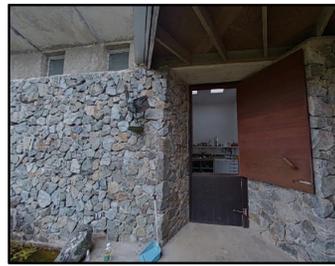
GENERAL NOTES AND INDEX

**ISSUE FOR BIDDING**  
**NOT FOR CONSTRUCTION**

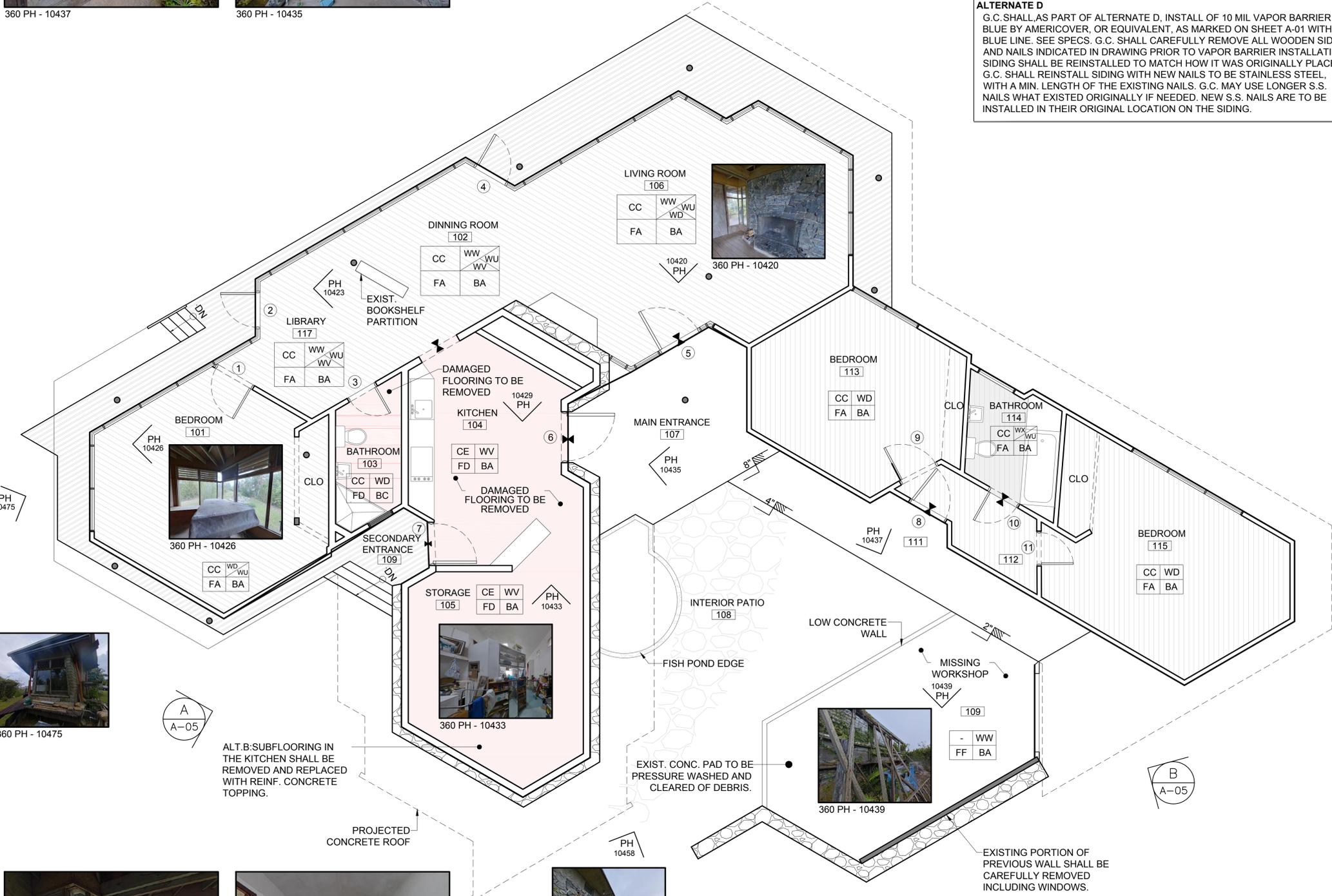
By: V.M.V. DATE: JUNE 29, 2023



360 PH - 10437



360 PH - 10435



360 PH - 10426

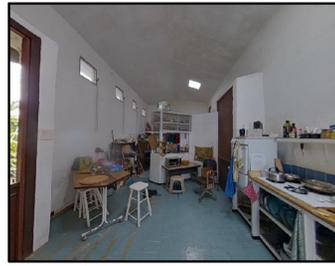


ALT.B: SUBFLOORING IN THE KITCHEN SHALL BE REMOVED AND REPLACED WITH REINF. CONCRETE TOPPING.

PROJECTED CONCRETE ROOF



360 PH - 10423



360 PH - 10429



360 PH - 10458



360 PH - 10439



**EXISTING FLOOR PLAN**

scale: 1/4"=1'-0" (if printed on 24"x36")



**ALTERNATE B**  
G.C. SHALL AS PART OF ALTERNATE B, REMOVE OF THE WOODEN SUBFLOOR IN THE KITCHEN AND REPLACE IT WITH REINF. CONCRETE TOPPING WITH A MIN. 3,000 PSI PRIOR TO INSTALLING THE NEW FINISH FLOORING. NEW FINISHED FLOOR MUST BE KEPT AT THE SAME LEVEL OF THE ORIGINAL VINYL FLOOR TILES..

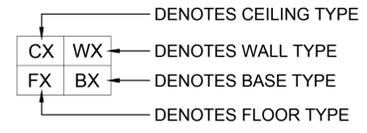
**ALTERNATE C**  
G.C. SHALL AS PART OF ALTERNATE C, INSTALL BATTERY SMOKE DETECTORS IN ALL INTERIOR ROOMS.

**ALTERNATE D**  
G.C. SHALL AS PART OF ALTERNATE D, INSTALL OF 10 MIL VAPOR BARRIER BLUE BY AMERICOVER, OR EQUIVALENT, AS MARKED ON SHEET A-01 WITH BLUE LINE. SEE SPECS. G.C. SHALL CAREFULLY REMOVE ALL WOODEN SIDING AND NAILS INDICATED IN DRAWING PRIOR TO VAPOR BARRIER INSTALLATION. SIDING SHALL BE REINSTALLED TO MATCH HOW IT WAS ORIGINALLY PLACED. G.C. SHALL REINSTALL SIDING WITH NEW NAILS TO BE STAINLESS STEEL, WITH A MIN. LENGTH OF THE EXISTING NAILS. G.C. MAY USE LONGER S.S. NAILS WHAT EXISTED ORIGINALLY IF NEEDED. NEW S.S. NAILS ARE TO BE INSTALLED IN THEIR ORIGINAL LOCATION ON THE SIDING.

**NOTE:**  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS TO BE VERIFIED ON SITE.

**IMPORTANT NOTE:**  
IF THIS DRAWING IS ON ITS ORIGINAL PDF FORMAT, TAP OR PRESS LEFT CLICK THE IMAGES ON THE DRAWING TO EXPAND IMAGE TO SEE THE IMAGE ON 360 VIEW OR A VIDEO FORMAT.

**LEGEND:**



- CEILING TYPE**  
 CA - WOOD BEADED PANEL  
 CB - TONGUE AND GROOVE WOOD PLANKS  
 CC - EXPOSED WOOD STRUCTURE  
 CD - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE  
 CE - CONCRETE  
 CF - WOOD BEADED PLANKS  
 CG - WOOD PLANKS  
 CH - ACOUSTIC CEILING TILES  
 CI - WOOD PLAYWOOD PANEL

- WALL TYPE**  
 WA - EXPOSED WOOD STUDS AND HORIZ. WOOD PLANKS  
 WB - VERTICAL WOOD PLANKS  
 WC - TONGUE AND GROOVE WOOD PLANKS  
 WD - PLYWOOD PANELS  
 WE - VERTICAL WOOD BEADED PANELS  
 WF - WOOD STRUCTURE COVERED BY LOW CONCRETE WALLS FINISHED WITH TILES  
 WG - WOOD DROP SIDING  
 WH - VERTICAL WOOD BEADED PLANKS  
 WI - EXPOSED WOOD STUDS AND VERTICAL BEADED WOOD PLANKS  
 WJ - CLAYBRICK WALL WITH PLASTER FINISH  
 WK - CLAY BRICK WALL WITH PLASTER FINISH COVERED WITH CERAMIC TILES.  
 WL - EXPOSED CONCRETE BLOCKS  
 WM - CONCRETE BLOCKS WITH PLASTER FINISH  
 WN - EXPOSED WOOD STUDS AND HORIZONTAL WOOD PLANKS  
 WO - CONCRETE BLOCKS WITH PLASTER FINISH AND CERAMIC TILES.  
 WR - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE  
 WS - GALVANIZED METAL SHEETS  
 WT - HORIZONTAL WOOD PLANKS  
 WU - WOOD FRAMED GLASS WINDOW WALL  
 WV - CONCRETE WALL  
 WW - CONCRETE WALL WITH STONE FINISH  
 WX - PLYWOOD PANELS FINISHED WITH CERAMIC TILES

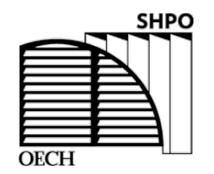
- FLOOR TYPE**  
 FA - WOOD PLANKS  
 FB - PLYWOOD PANELS  
 FC - CERAMIC TILE  
 FD - VINYL TILE  
 FE - VINYL ROLL  
 FF - EXPOSED CONCRETE  
 FG - TONGUE AND GROOVE WOOD PLANKS  
 FH - NATIVE TILES  
 FI - CARPET  
 FJ - EXPOSED WOOD STRUCTURE  
 FK - CLAY BRICKS

- WALL BASE TYPE**  
 BA - NO WALL BASE  
 BB - WOOD BASE  
 BC - VINYL WALL BASE

- DENOTES CHANGE OF FLOOR PATTERN  
 DENOTES DOOR TYPE  
 DENOTES WINDOW TYPE  
 CHANGE IN LEVEL  
 DENOTES ELEVATION  
 DENOTES BUILDING SECTION  
 DENOTES DETAIL NUMBER  
 REFERS TO 360 IMAGE ON SHEET



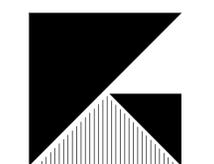
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Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date

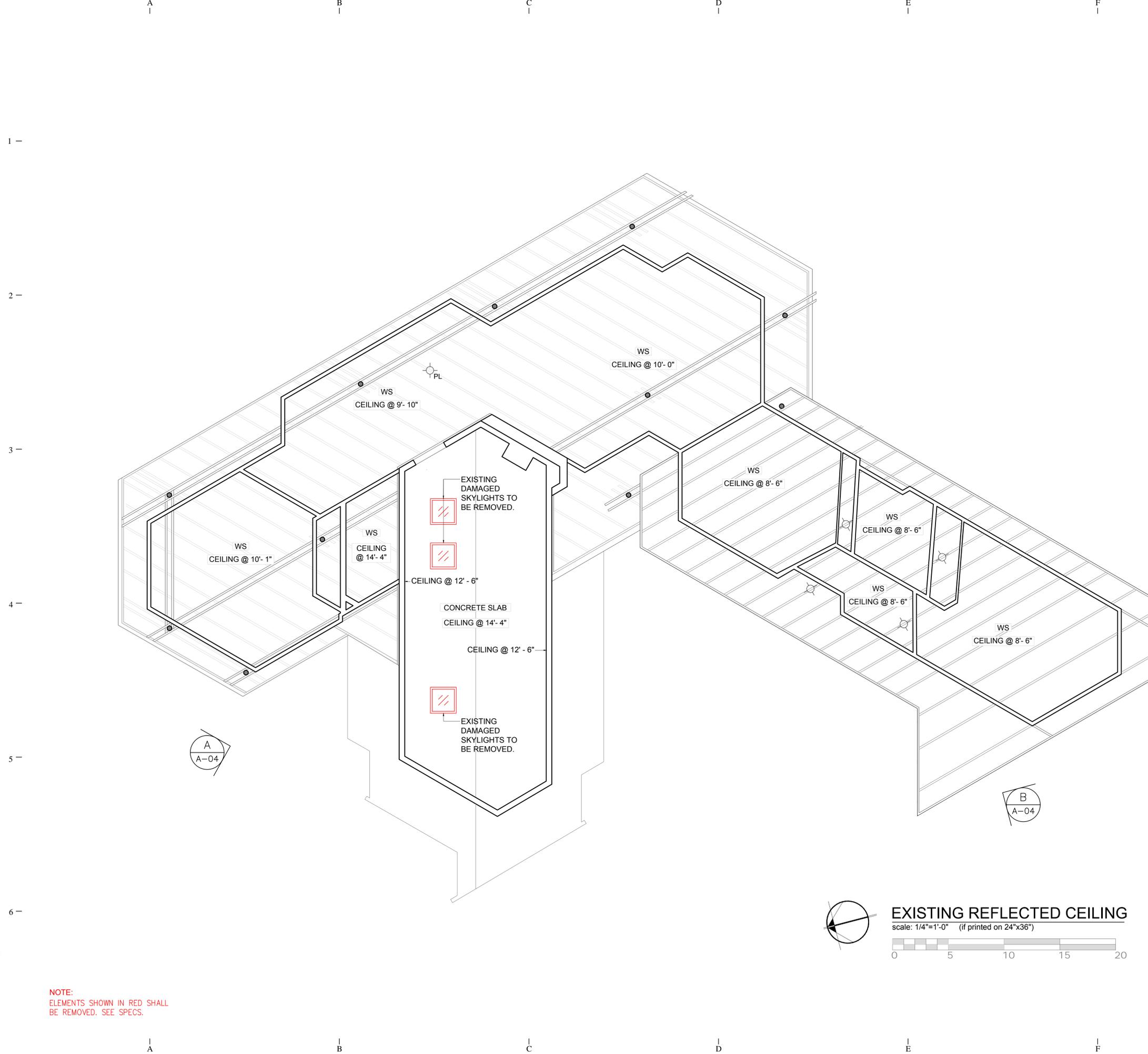
Drawn by: GM | EM | CB | LR  
Reviewed by: VV

SHEET TITLE AND NUMBER:

**EX - 01**  
EXISTING FLOOR PLAN

**ISSUE FOR BIDDING**  
NOT FOR CONSTRUCTION

By: V.M.V. DATE: JUNE 29, 2023

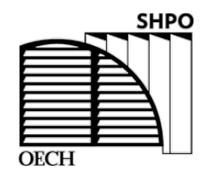


**LEGEND:**

-  DENOTES ELEVATION
-  DENOTES BUILDING SECTION
-  DENOTES DETAIL NUMBER
-  LIGHT OUTPUT, LIGHT BULB
-  PENDANT LIGHT



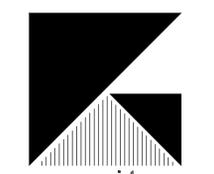
NATIONAL PARK SERVICE



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Laurie S. Rivera

No.	Issue	Date

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Reviewed by: VV

SHEET TITLE AND NUMBER:

**EX - 02**

EXISTING REFLECTED CEILING

**ISSUE FOR BIDDING  
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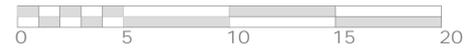
BY: V.M.V. DATE: JUNE 29, 2023

**NOTE:**  
ELEMENTS SHOWN IN RED SHALL  
BE REMOVED. SEE SPECS.

**NOTE:**  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.

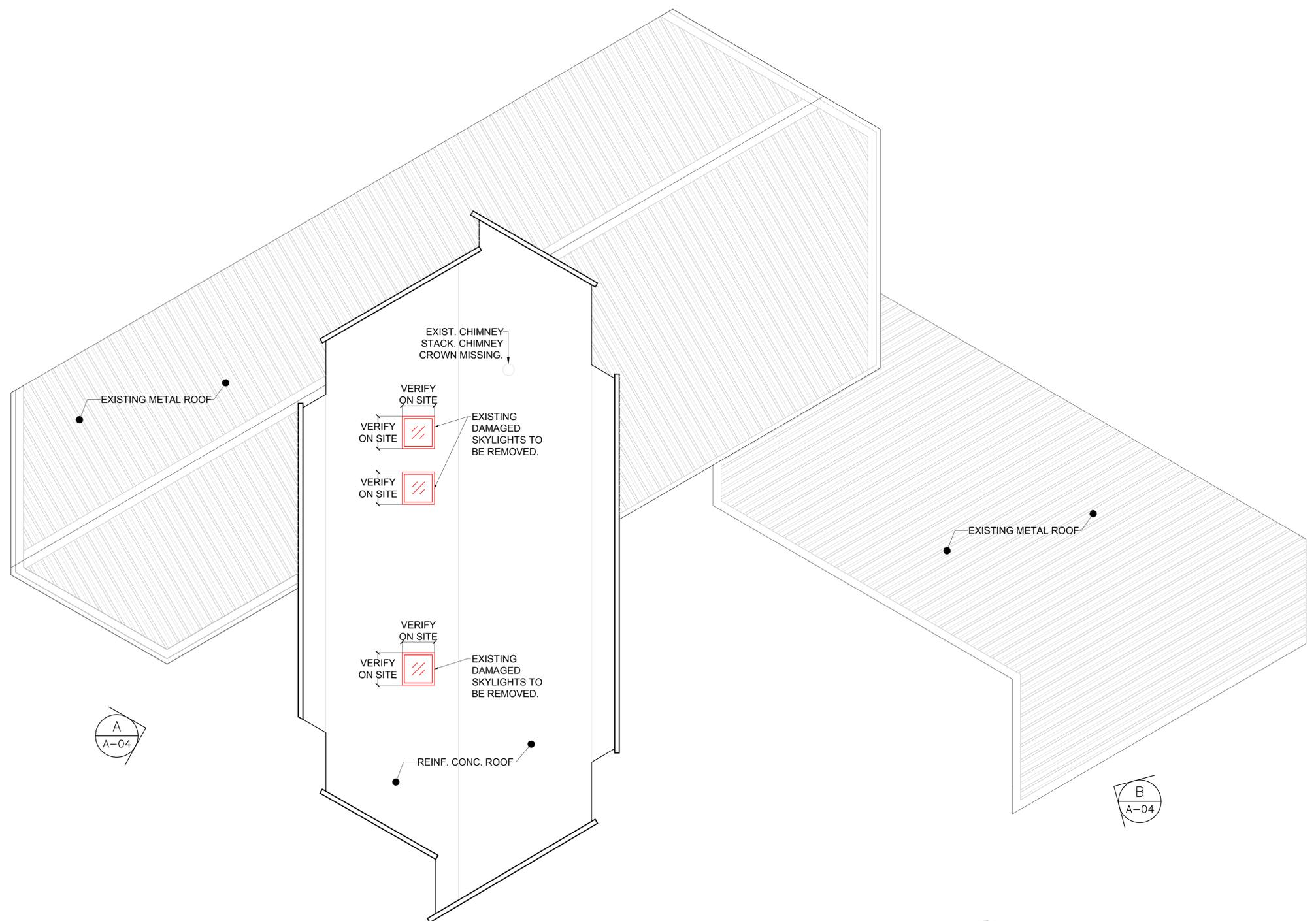


**EXISTING REFLECTED CEILING**  
scale: 1/4"=1'-0" (if printed on 24"x36")



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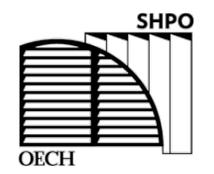


**LEGEND:**

- DENOTES ELEVATION
- DENOTES BUILDING SECTION
- DENOTES DETAIL NUMBER



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No.	Issue	Date

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Reviewed by: vv

SHEET TITLE AND NUMBER:

**EX - 03**  
EXISTING ROOF PLAN

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BY: V.M.V. DATE: JUNE 29, 2023

**NOTE:**  
ELEMENTS SHOWN IN RED SHALL BE REMOVED. SEE SPECS.

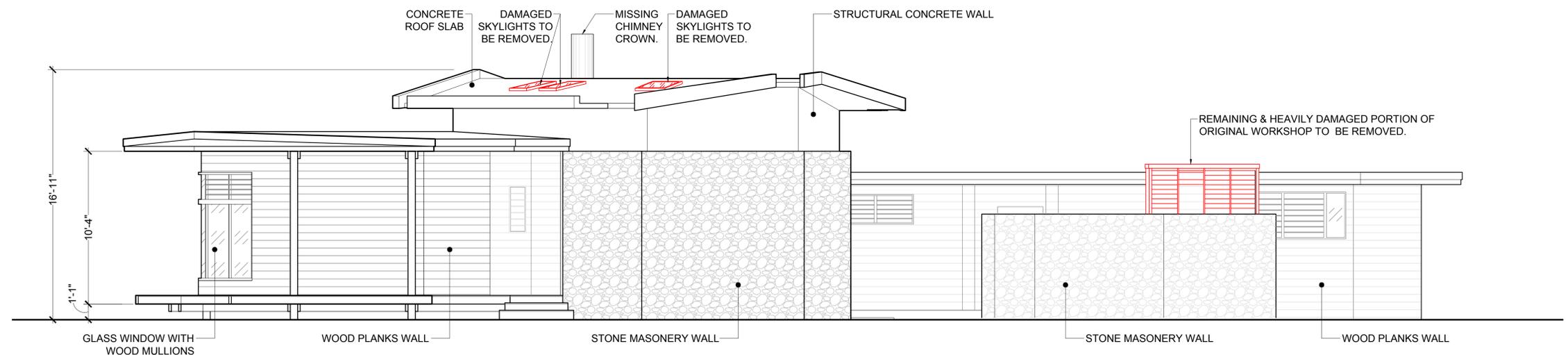
**EXISTING ROOF PLAN**  
scale: 1/4"=1'-0" (if printed on 24"x36")

**NOTE:**  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS TO BE VERIFIED ON SITE.

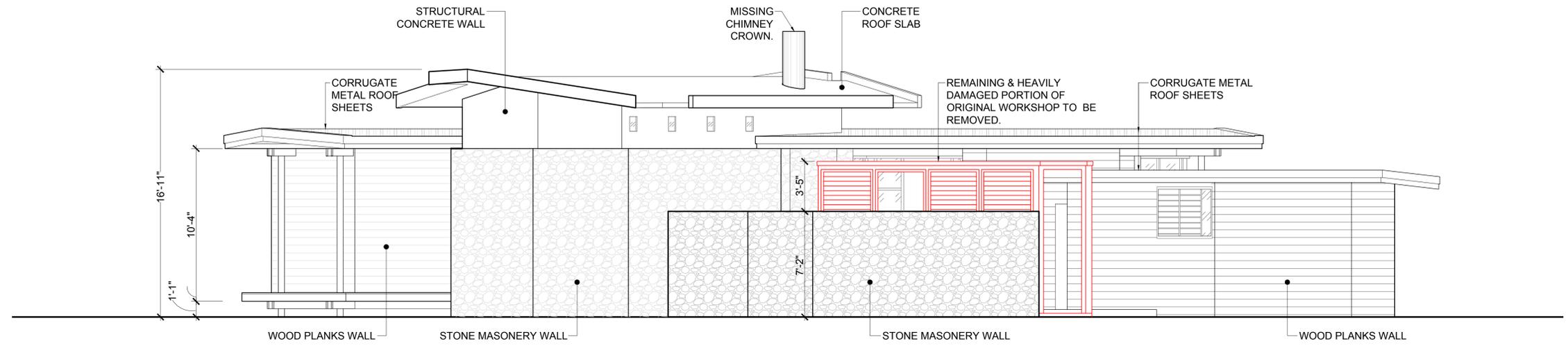
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A | B | C | D | E | F | G

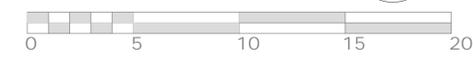
NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.



**EXISTING ELEVATION A**  
EX-04  
scale: 1/4"=1'-0" (if printed on 24"x36")



**EXISTING ELEVATION B**  
EX-04  
scale: 1/4"=1'-0" (if printed on 24"x36")

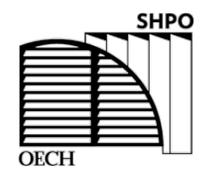


NOTE:  
ELEMENTS SHOWN IN RED SHALL  
BE REMOVED. SEE SPECS.

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- Cristina Ballester
- Gilberto Mendoza
- Elvin E. Melendez
- Laurie S. Rivera

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Reviewed by: vv

SHEET TITLE AND NUMBER:

**EX - 04**  
EXISTING ELEVATIONS

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BY: V.M.V. DATE: JUNE 29, 2023

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**GENERAL RESTORATION NOTES:**

1. GENERAL RESTORATION NOTES APPLY TO WORK UNLESS SPECIFICALLY INDICATED OTHERWISE.
2. REMOVAL OF MATERIALS SHALL BE ACCOMPLISHED USING MEANS AND METHODS NECESSARY TO MINIMIZE DAMAGE TO ADJACENT AND/OR REMAINING MATERIALS AND FINISHES.
3. ALL TIMES THE FRASE "MATCH EXISTING" IS USED, CONTRACTOR WILL USE MATERIALS AND METHODS TO MATCH ALL VISUAL CHARACTERISTICS AND FEATURES OF THE EXISTING WORK.
4. ANCHOR BOLTS, DOWELS, INSERTS, HARDWARE, ETC...SHALL BE SECURELY TIED IN PLACE PRIOR TO POURING CONCRETE.
5. FOOTINGS WILL BE POURED AGAINST FIRM, UNDISTURBED NATURAL SOIL OR FILL COMPACTED TO A MINIMUM OF 90%.
6. ALL STRUCTURAL LUMBER TO BE DOUGLAS FIR-LARCH (ROUGH SAWN OR S4S)
  - a. GRADE #2 OR BETTER FOR ALL 2X JOISTS/RAFTERS/LEDGERS
  - b. GRADE #1 OR BETTER FOR ALL 4X OR LARGER BEAMS AND POSTS.
7. WOOD USED IN CONSTRUCTION OF PERMANENT STRUCTURE AND LOCATED NEARER THAN 6" TO EARTH SHALL BE TREATED WOOD OR REDWOOD.
8. ALL HARDWARE CONNECTORS (NAILS, BOLTS, ETC..) SHALL BE GALVANIZED.
9. A METAL PLATE, METAL STRAP OR WASHER NOT LESS THAN STANDARD CUT WASHER SHALL BE BETWEEN THE WOOD AND BOLT HEAD AND BETWEEN THE WOOD AND THE NUT.
10. FLOOR JOISTS WILL BE DOUBLED UNDER BEARING PARTITIONS RUNNING PARALLEL WITH THE JOISTS.
11. BEARING PARTITIONS PERPENDICULAR TO JOISTS WILL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH.
12. BEARING AND EXTERIOR WALL STUDS WILL BE CAPPED WITH DOUBLE TOP PLATES INSTALLED TO PROVIDE OVERLAPPING AT CORNERS & AT INTERSECTIONS WITH OTHER PARTITIONS. END JOISTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48".
13. HOLD DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING WALL FRAMING.
14. IN ROOF STRUCTURES G.C. MUST ENSURE ALL CONNECTIONS USE SIMPSON STRONG TIE-CONNECTORS, OR EQUIVALENT.
15. G.C. SHALL BE RESPONSIBLE FOR PROTECTING THE INTERIOR OF THE PROPERTY ALWAYS, INCLUDING WHEN THE ROOFING REPAIRS ARE BEING DONE.
16. IT IS POSSIBLE THAT DURING THE PROCESS OF REMOVING THE EXISTING DOORS AND WINDOW FRAMES MAY CAUSE VOIDS IN THE OPENINGS. SINCE THE STRUCTURE IS A HISTORICAL ONE, THESE VOIDS MUST BE RESTORED WITH THE SPECIFIED RESTORATION PROCESS LOCATED IN THE BIDDING SET.
17. DURING THE INSTALLATION PROCESS AND AS PART OF COMPLETING IT, IT IS POSSIBLE THE NEED TO REPAIR THE WINDOW/DOOR NOTCH (MOCHETA) FOLLOWING THE SPECIFICATIONS ON THE FINISHES NOTES.

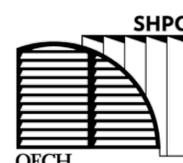
**GENERAL CLEANING NOTES:**

1. ALL ACTIVITIES PERTAINING TO THE CLEANING AND/OR RESTORATION OF THE FAÇADE SHALL BE DONE WITH THE REQUIRED PRECAUTIONS FOR INTERVENING A HISTORICAL PROPERTY, SO AS TO NOT DAMAGE OR ADVERSELY AFFECT ANY OF ITS COMPONENTS.
2. ABRASIVE CLEANING TREATMENTS SUCH AS, BUT NOT LIMITED TO, GRINDING AND DANDING SHALL NOT BE USED BY ANY MEANS.
3. IN CASE OF ACCIDENTAL DAMAGE, CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING/ REPLACING THE AFFECTED AREA/PIECE AT NO EXTRA COST TO THE OWNER. ANY NEEDED INTERVENTION SHALL BE DONE WITH THE ADEQUATE MATERIALS/TECHNIQUE SO AS TO REPLICATE ORIGINAL EXISTING CONDITION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING BOTH, CLEANING AND COATING PRODUCTS, IN A SMALL AND INCONSPICUOUS AREA PRIOR TO FULL USE AND APPLICATION. TESTING AREA SHALL NOT EXCEED 10'X10'. LOCATION AND TESTING ARA SIZE SHALL BE COORDINATED WITH THE ARCHITECT BEFORE ANY WORK IS DONE.
5. ARCHITECT SHALL BE NOTIFIED WHEN TESTING AREA IS FINISHED BEFORE CONTINUING FULL WORK ON FAÇADE. IN CASE FINAL TESTING RESULTS DO NOT MEET DESIRED FINISH, PRODUCTS AND TECHNIQUES TO BE USED COULD/SHALL BE RE-EVALUATED.
6. EXTERIOR WALLS OF HE FAÇADE SHALL BE CLEANED FROM ALL MOLD AND MILDEW STAINS USING SPORICIDIN MOLD & MILDEW STAIN REMOVER MRC-101-320, CLEAR BY SPORICIDIN PRODUCTS (WWW.SPORICIDIN.COM), OR EQUIVALENT. PRODUCT SHALL BE APPLIED USING A PROFESSIONAL GRADE FOAM SPRAYER WHICH SHALL BE THOROUGHLY CLEANED FROM ANY PREVIOUSLY USED CHEMICAL PRODUCTS AS PER MANUFACTURER'S RECOMMENDATIONS.
7. PRODUCT APPLICATION SHALL BE DONE IN A PROFESSIONAL AND EVEN MANNER SO AS TO ENSURE FULL SURFACE COVERING AND TO AVOID UNEVEN RESULTS. PRODUCT APPLICATION SHALL BE DONE AS PER MANUFACTURER'S RECOMMENDATIONS.
8. IN CASE OF AREAS WITH STUBBORN STAINS, PRODUCT SHALL BE REAPPLIED AND MANUFACTURER'S RECOMMENDATIONS SHALL BE FOLLOWED FOR ACHIEVING DESIRED RESULTS. IN CASE SCRUBBING IS NEEDED, ONLY NATURAL OR SYNTHETIC BRISTLE BRUSHED CAN BE USED.
9. HIGH PRESSURE WATER WASHES SHALL NOT BE USED AND BY NO MEANS SHALL THE RECOMMENDED CHEMICAL MIX/PROPORTION OR PRODUCT SETTING TIME BE ALTERED.
10. ALL FAÇADE ELEMENTS NOT REQUIRING CLEANING SHALL BE COVERED AND PROPERLY PROTECTED SO AS TO PREVENT ANY FAMAGE FROM CLEANING/COATING AGENTS.
11. AFTER FINAL CLEANING PRODUCT APLICATION IS DONE AND RECOMMENDED DRYING TIME HAS PASSES, SPORICIDING MOLD RESISTANT COATING MRC 80-5 CLEAR FLAT BY SPORICIDIN PRODUCTS (WWW.SPORICIDIN.COM).OR EQUIVALENT, SHALL BE APPLIED USING AN AIRLESS SPRAYER IN MEDIUM PRESSURE SETTING AND A 0.018 SPRAY TOP, AS PER MANUFACTURER'S RECOMMENDATIONS, TO PREVENT FUTURE MOLD GROWTH.
12. ALL PRODUCTS TO BE USED FOR THE CLEANING/COATING TREATMENTS OF THE FAÇADE SHALL BE MANAGED AND APPLIED FOLLOWING THE MANUFACTURER'S GUIDELINES AND FOR CONTACTING AN AUTHORIZED TECHNICAL REPRESENTATIVE.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE STORAGE AND DISPOSAL OF PRODUCTS AS PER MANUFACTURER'S GUIDELINES.

**IMPORTANT NOTE**  
THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.



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**FOREMAN HOUSE**  
ADJUNTAS, PUERTO RICO

Architect of Record:  
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Elvin E. Melendez  
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No.	Issue	Date
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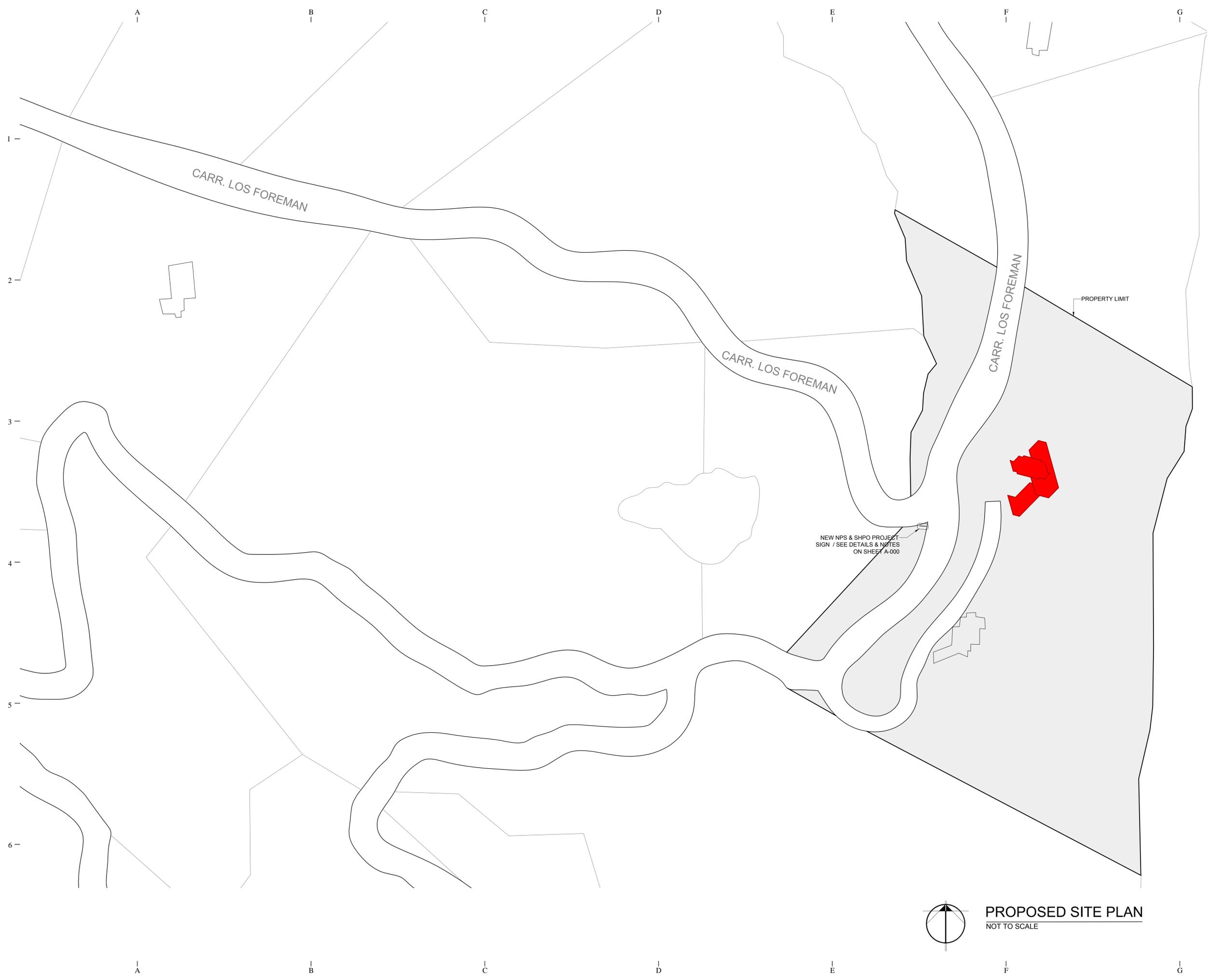
Drawn by	Reviewed by
GM   EM   CB   LR	VV

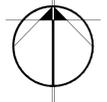
SHEET TITLE AND NUMBER:

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GENERAL RESTORATION NOTES

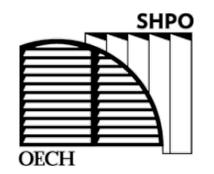
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**PROPOSED SITE PLAN**  
 NOT TO SCALE



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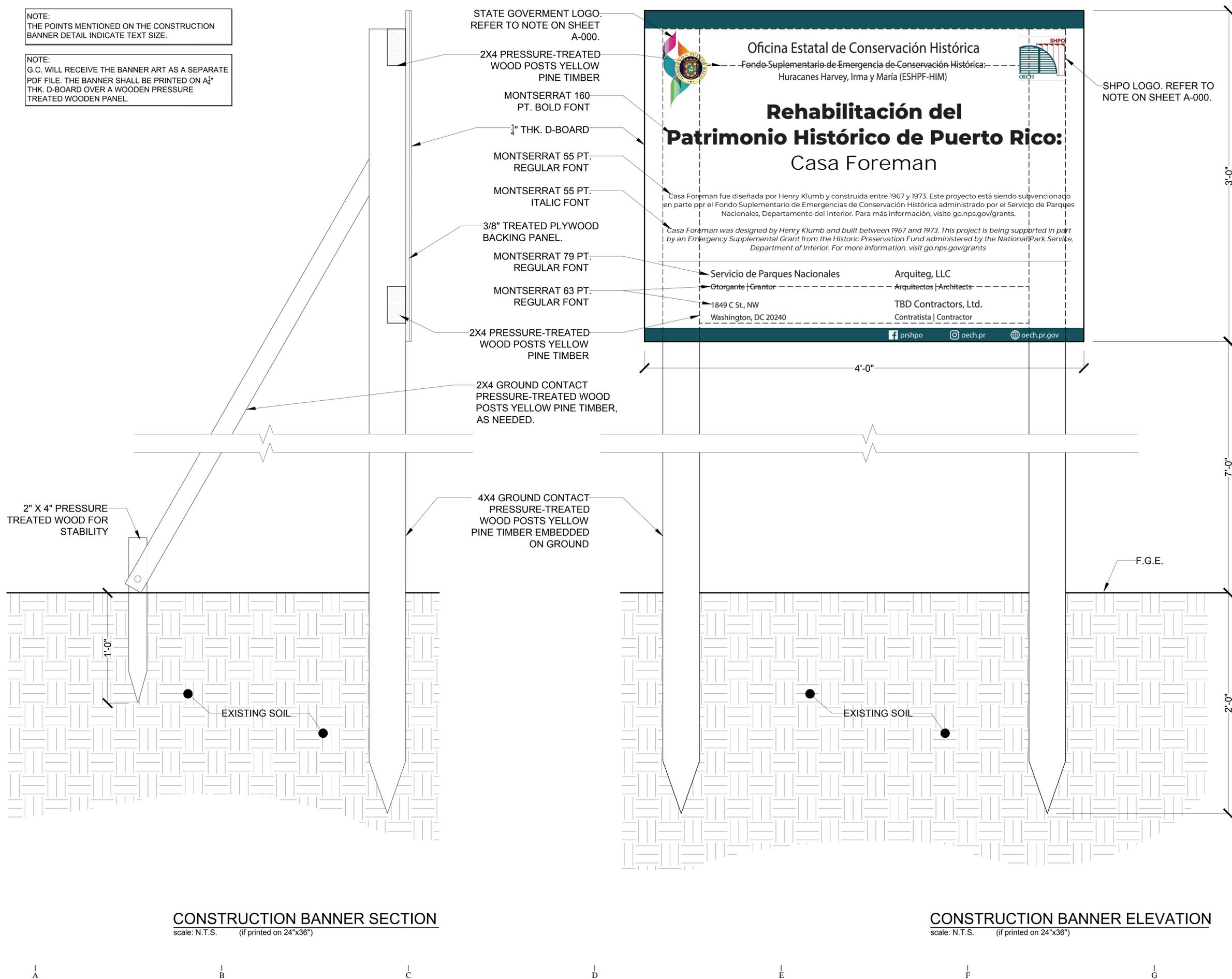
SITE PLAN

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BY: V.M.V.      DATE: JUNE 29, 2023

NOTE:  
THE POINTS MENTIONED ON THE CONSTRUCTION  
BANNER DETAIL INDICATE TEXT SIZE.

NOTE:  
G.C. WILL RECEIVE THE BANNER ART AS A SEPARATE  
PDF FILE. THE BANNER SHALL BE PRINTED ON 1/4"  
THK. D-BOARD OVER A WOODEN PRESSURE  
TREATED WOODEN PANEL.

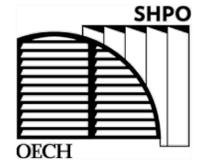


**CONSTRUCTION BANNER SECTION**  
scale: N.T.S. (if printed on 24"x36")

**CONSTRUCTION BANNER ELEVATION**  
scale: N.T.S. (if printed on 24"x36")



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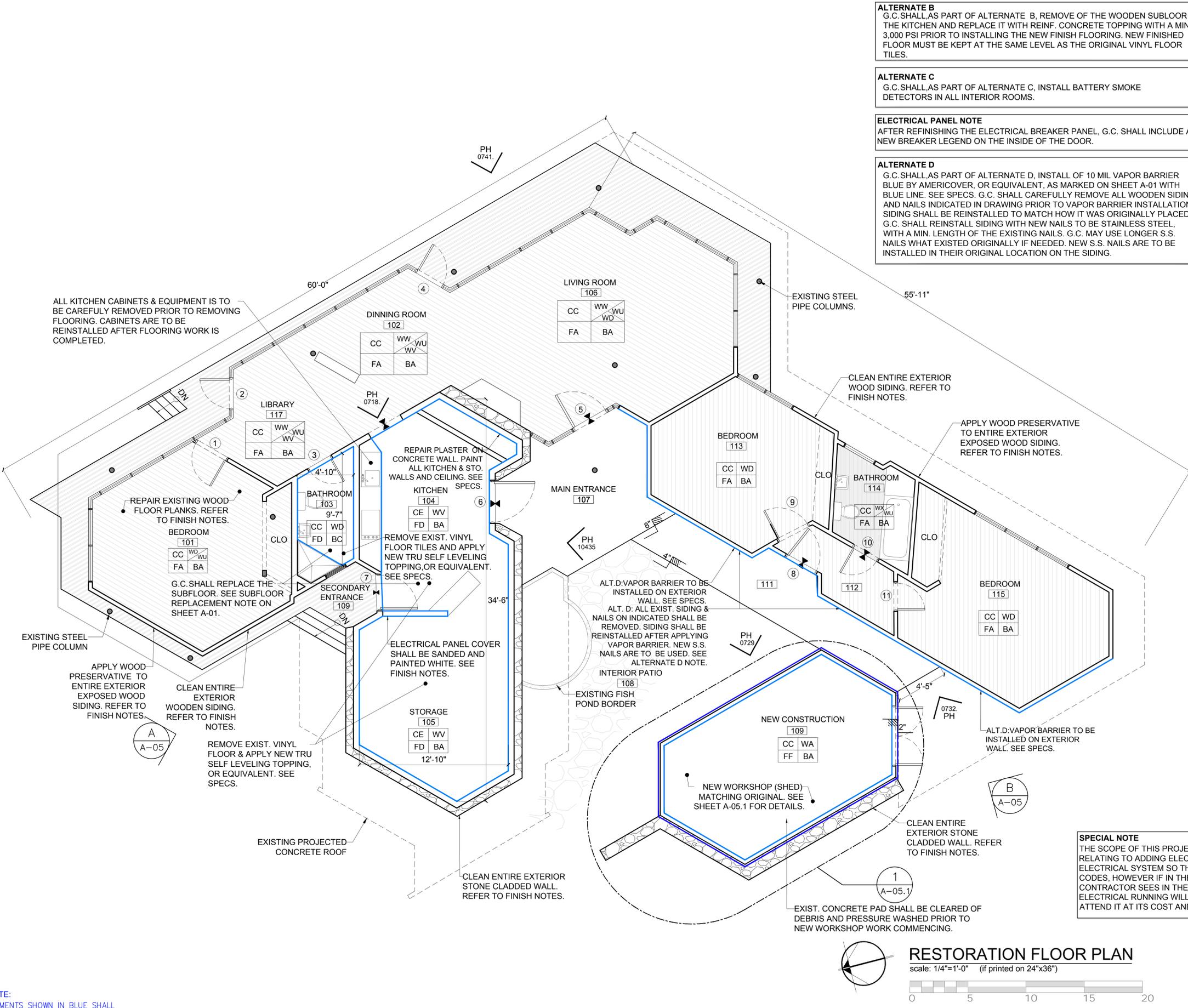
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SHEET TITLE AND NUMBER:

**A-000**  
CONSTRUCTION BANNER DETAIL

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**ALTERNATE B**  
G.C. SHALL, AS PART OF ALTERNATE B, REMOVE OF THE WOODEN SUBFLOOR IN THE KITCHEN AND REPLACE IT WITH REINF. CONCRETE TOPPING WITH A MIN. 3,000 PSI PRIOR TO INSTALLING THE NEW FINISH FLOORING. NEW FINISHED FLOOR MUST BE KEPT AT THE SAME LEVEL AS THE ORIGINAL VINYL FLOOR TILES.

**ALTERNATE C**  
G.C. SHALL, AS PART OF ALTERNATE C, INSTALL BATTERY SMOKE DETECTORS IN ALL INTERIOR ROOMS.

**ELECTRICAL PANEL NOTE**  
AFTER REFINISHING THE ELECTRICAL BREAKER PANEL, G.C. SHALL INCLUDE A NEW BREAKER LEGEND ON THE INSIDE OF THE DOOR.

**ALTERNATE D**  
G.C. SHALL, AS PART OF ALTERNATE D, INSTALL OF 10 MIL VAPOR BARRIER BLUE BY AMERICOVER, OR EQUIVALENT, AS MARKED ON SHEET A-01 WITH BLUE LINE. SEE SPECS. G.C. SHALL CAREFULLY REMOVE ALL WOODEN SIDING AND NAILS INDICATED IN DRAWING PRIOR TO VAPOR BARRIER INSTALLATION. SIDING SHALL BE REINSTALLED TO MATCH HOW IT WAS ORIGINALLY PLACED. G.C. SHALL REINSTALL SIDING WITH NEW NAILS TO BE STAINLESS STEEL, WITH A MIN. LENGTH OF THE EXISTING NAILS. G.C. MAY USE LONGER S.S. NAILS WHAT EXISTED ORIGINALLY IF NEEDED. NEW S.S. NAILS ARE TO BE INSTALLED IN THEIR ORIGINAL LOCATION ON THE SIDING.

- LEGEND:**
- DENOTES CHANGE OF FLOOR PATTERN
  - DENOTES DOOR TYPE
  - DENOTES WINDOW TYPE
  - CHANGE IN LEVEL
  - DENOTES ELEVATION
  - DENOTES BUILDING SECTION
  - DENOTES DETAIL NUMBER
  - REFERS TO PHOTO ON RESTORATION PHOTOS SHEET

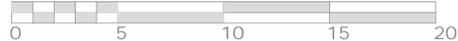
**SUBFLOOR REPLACEMENT NOTE:**  
THE REPLACEMENT SUBFLOOR SHALL MATCH "IN-KIND" TO ALL CHARACTERISTICS OF THE EXIST. SUBFLOORING, EXCEPT FOR HEIGHT. IT IS IMPORTANT THAT THE SUBFLOOR HEIGHT BE MODIFIED TO ENSURE THE NEW FLOOR FINISH MATCH THE SAME LEVEL AS THE ORIGINAL VINYL TILES.

**NOTE:**  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS TO BE VERIFIED ON SITE.

**SPECIAL NOTE**  
THE SCOPE OF THIS PROJECT DOES NOT INCLUDE DOING SPECIFIC WORK RELATING TO ADDING ELECTRICAL DEVICES AND/OR UPDATING THE ELECTRICAL SYSTEM SO THAT THEY ARE IN COMPLIANCE WITH CURRENT CODES, HOWEVER IF IN THE PROCESS OF ATTENDING THE REPAIRS THE CONTRACTOR SEES IN THE NEED TO DISCONNECT AND RECONNECT ANY ELECTRICAL RUNNING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ATTEND IT AT ITS COST AND IN COMPLIANCE WITH NEC REGULATIONS.

**RESTORATION FLOOR PLAN**

scale: 1/4"=1'-0" (if printed on 24"x36")



**NOTE:**  
ELEMENTS SHOWN IN BLUE SHALL BE NEW. SEE SPECS.

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Elvin E. Melendez  
Laurie S. Rivera

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Reviewed by: VV

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**A - 01**  
RESTORATION FLOOR PLAN

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PHOTO #0732. / REFER TO FLOOR PLAN.



G.C SHALL APPLY TO THE ENTIRE EXTERIOR WOOD SIDING FACADE RAW LINSEED OIL. APPLY AS PER MANUFACTURERS RECOMMENDATION. / MOLD AND DIRT BUILDUP SHALL BE REMOVED PRIOR TO APPLYING SIDING FINISH. / AS PART OF ALTERNATE D, G.C. SHALL REMOVE WOOD SIDING ON WALLS MARKED ON SHEET A-01, INSTALL VAPOR BARRIER, AND REINSTALL ORIGINAL WOOD SIDING. SPECIAL CARE SHALL BE TAKEN TO NOT BREAK ANY SIDING WHILE REMOVING OR REINSTALLING.

PHOTO #0718. / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE AND REPLACE ENTIRE VINYL FLOOR TILES ON KITCHEN & BATHROOM FOR TRU SELF LEVELING NATURAL TOPPING, OR EQUIVALENT. SEE SPECS FOR FURTHER INSTRUCTION. G.C. SHALL PROVIDE SUBMITTAL FOR ARCHITECTS REVIEW BEFORE PROCEEDING. ASBESTOS CONTAINING VINYL TILE FOUND ACCORDING TO ACM REPORT. G.C. SHALL BE RESPONSIBLE FOR FOLLOWING PROPER ABATEMENT PROCEDURE.

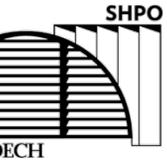
PHOTO #10435 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL PATCH AND REPAIR CONCRETE CRACK. THOROUGHLY CLEAN CRACKED CONCRETE AREA IN ORDER TO REMOVE ALL THE DIRT AND CONCRETE FLAKES. APPLY SPECIFIED PRODUCT ACCORDING TO THE FINISH NOTES ON AFFECTED AREA. APPLY AS MANUFACTURERS RECOMMENDATION.



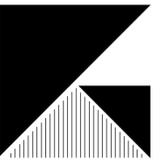
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SHEET TITLE AND NUMBER:

**A - 01.1**  
RESTORATION PHOTOS

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PHOTO #0729 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE DEBRIS FROM SITE AND REBUILD ORIGINAL WORKSHOP STRUCTURE FOLLOWING SPECIFICATIONS ON SHEET A-05.1, A-05.2, A-06, A-06.1.

PHOTO #0741. / REFER TO FLOOR PLAN.



IMAGE SHOWS FIREPLACE CONDITION AT TIME OF SITE VISIT.

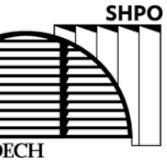
PHOTO #0741./ REFER TO FLOOR PLAN.



G.C. SHALL ALSO CLEAN ALL DEBRIS AND ORGANIC MATERIAL FROM THE METAL AND CONCRETE ROOFS. CLEAN THE ENTIRE CONCRETE ROOF SURFACE USING WATER PRESURE. / G.C. SHALL APPLY ON ROOF 2 COATS OF ELASTOMETRIC WATER SEALER CROSSCO ULTRA SEAL PLUS, OR EQUIVALENT.



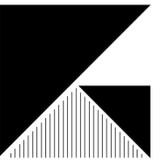
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Laurie S. Rivera

No.	Issue	Date
△		
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Drawn by	Reviewed by
GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

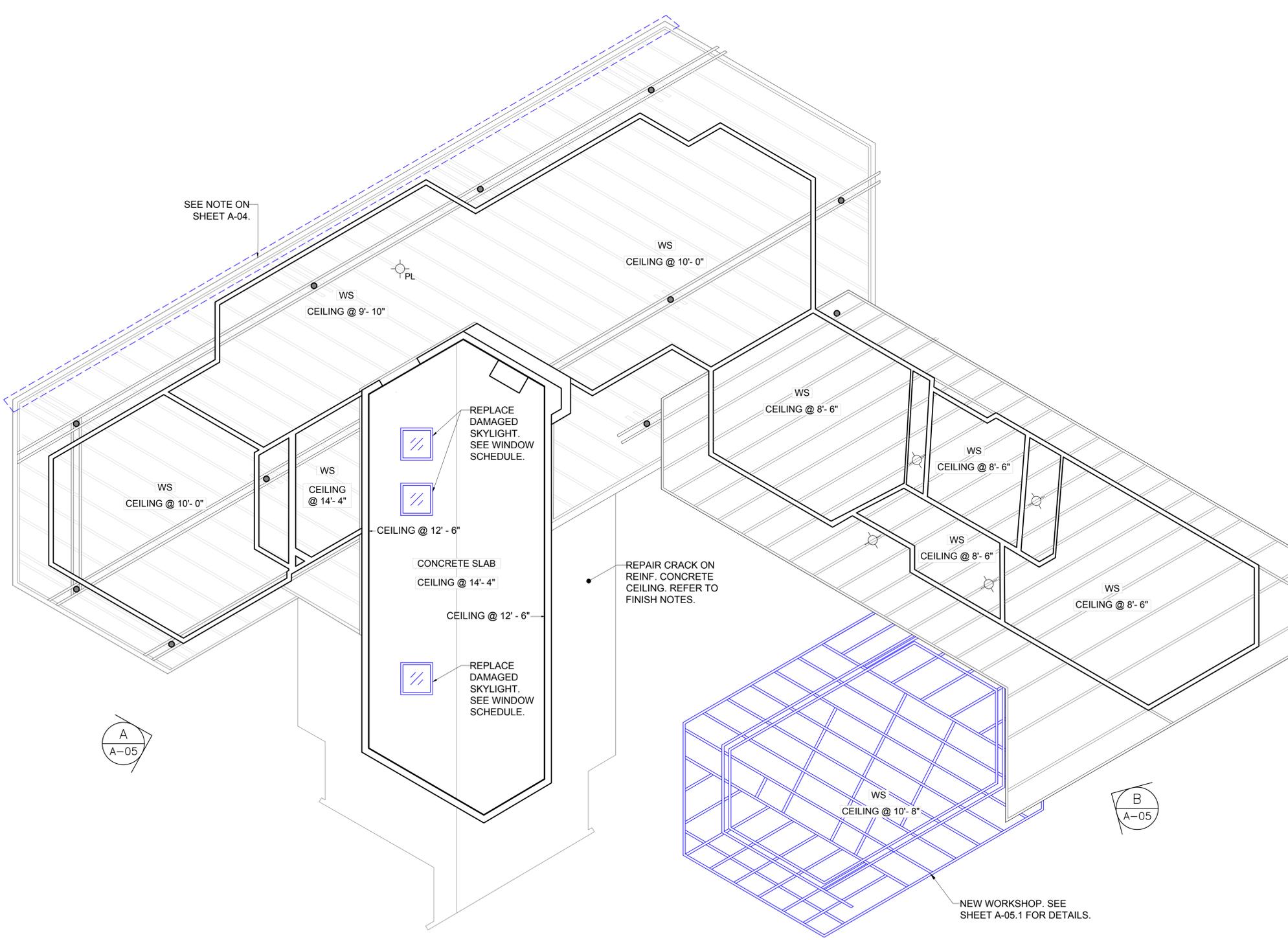
**A - 01.2**  
RESTORATION PHOTOS

**ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION**

BY: V.M.V. DATE: JUNE 29, 2023

A | B | C | D | E | F | G |

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SEE NOTE ON SHEET A-04.

WS  
CEILING @ 9'- 10"

WS  
CEILING @ 10'- 0"

WS  
CEILING @ 8'- 6"

WS  
CEILING @ 10'- 0"

WS  
CEILING @ 14'- 4"

CEILING @ 12'- 6"

CONCRETE SLAB  
CEILING @ 14'- 4"

CEILING @ 12'- 6"

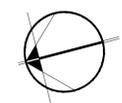
REPAIR CRACK ON REINF. CONCRETE CEILING. REFER TO FINISH NOTES.

WS  
CEILING @ 10'- 8"

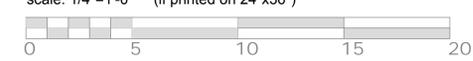
NEW WORKSHOP. SEE SHEET A-05.1 FOR DETAILS.



NOTE:  
ELEMENTS SHOWN IN BLUE SHALL BE NEW. SEE SPECS.



**RESTORATION REFLECTED CEILING**  
scale: 1/4"=1'-0" (if printed on 24"x36")

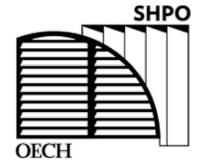


**LEGEND:**

- DENOTES ELEVATION
- DENOTES BUILDING SECTION
- DENOTES DETAIL NUMBER
- LIGHT OUTPUT, LIGHT BULB
- PENDANT LIGHT



NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

**FOREMAN HOUSE**  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
Registration No. 11445 PR.



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Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date

Drawn by: GM | EM | CB | LR  
Reviewed by: VV

SHEET TITLE AND NUMBER:

**A - 03**

RESTORATION REFLECTED CEILING

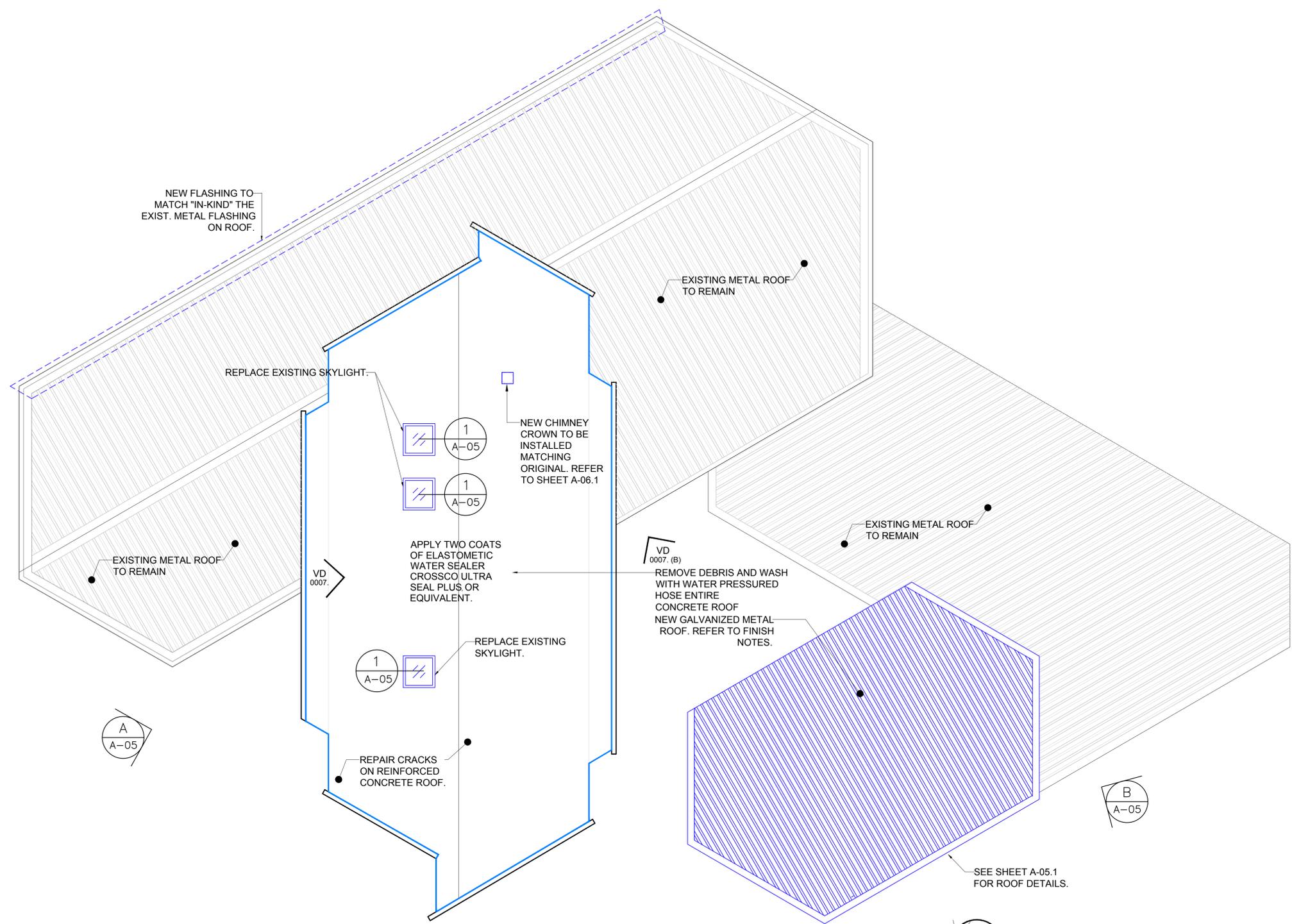
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**NOT FOR CONSTRUCTION**

BY: V.M.V. DATE: JUNE 29, 2023

A | B | C | D | E | F | G |

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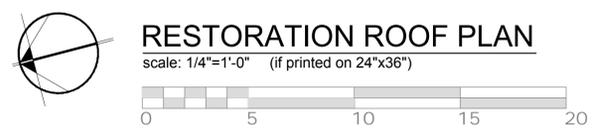
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- LEGEND:**
- DENOTES ELEVATION
  - DENOTES BUILDING SECTION
  - DENOTES DETAIL NUMBER

**ALTERNATE C**  
 AS PART OF ALTERNATE C, G.C. SHALL INCLUDE THE COST OF PROVIDING AND INSTALLING (1) SMOKE ALARM PER SPACE. THE SMOKE ALARM SHALL BE KIDDE MODEL RF-SM-DC, OR EQUIVALENT. IT SHALL BE POWERED BY THREE (3) AA BATTERIES. THE UNIT SHALL AT A MINIMUM MEET THE REQUIREMENTS OF UL217, NFPA72 (CHAPTER 11, 2002 EDITION). IT SHALL ALSO INCLUDE A 10-YEAR MANUFACTURER'S LIMITED WARRANTY.

**NOTE:**  
 ELEMENTS SHOWN IN BLUE SHALL BE NEW. SEE SPECS.



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 Elvin E. Melendez  
 Laurie S. Rivera

No.	Issue	Date

Drawn by: GM | EM | CB | LR  
 Reviewed by: vv

SHEET TITLE AND NUMBER:  
**A - 04**  
 RESTORATION ROOF PLAN

**ISSUE FOR BIDDING  
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BY: V.M.V. DATE: JUNE 29, 2023

VD #0007. / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL REMOVE ALL DAMAGED ACRYLIC SKYLIGHTS AND REPLACED FOR NEW. FOR SKYLIGHT SPECIFICATIONS REFER TO DOOR AND WINDOW SCHEDULE.

G.C. SHALL CLEAN THE ROOF FROM DEBRIS & ORGANIC MATERIAL.

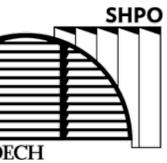
VD #0007. (B) / REFER TO FLOOR PLAN.



G.C. SHALL RECREATE DAMAGED CHIMNEY CROWN. NEW CHIMNEY CROWN SHALL BE EQUAL TO PREVIOUS DESIGN AS SHOWN ON BLOW UP PHOTO AT LEFT. SEE SHEET A-06.1 FOR FURTHER INSTRUCTION. DISCUSS WITH ARCHITECT BEFORE PROCEEDING.



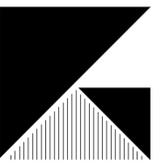
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AJUNTAS, PUERTO RICO

Architect of Record:  
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Drawn by: GM | EM | CB | LR  
Reviewed by: vv

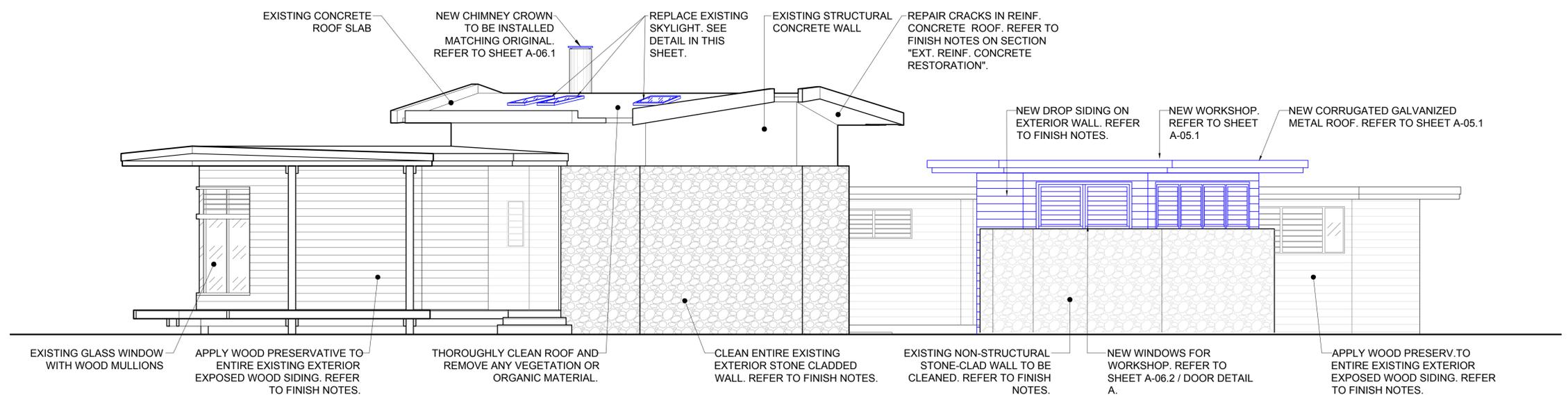
SHEET TITLE AND NUMBER:

A - 04.1  
RESTORATION PHOTOS

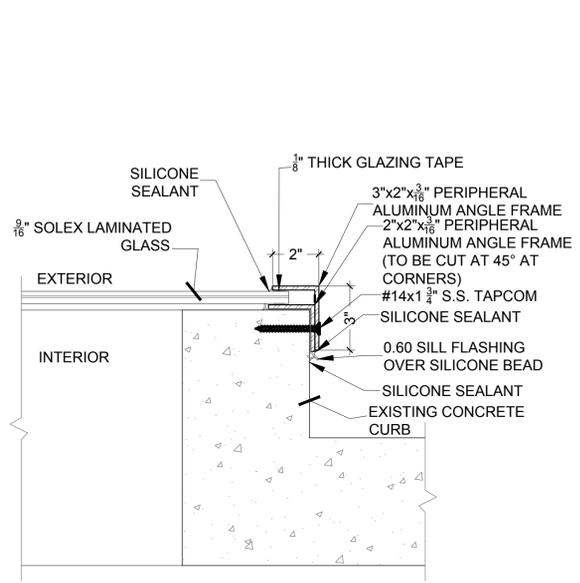
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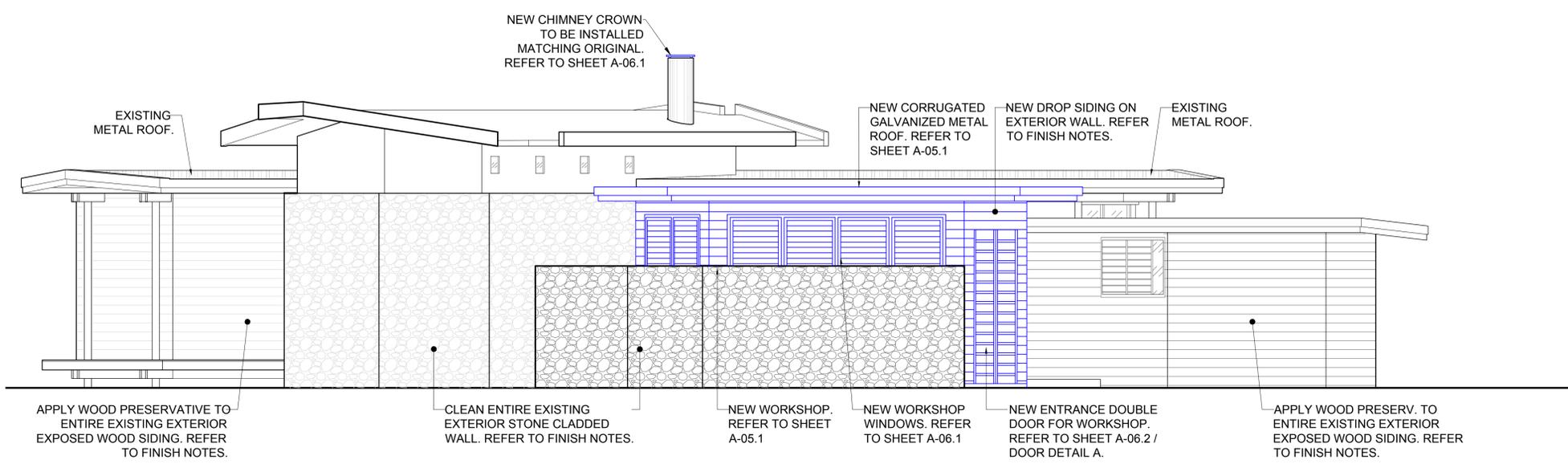
/Volumes/ARQ DATA/ACTIVOS/RESTAURACIONES SHPO - ESHPF-HIM/PROYECTOS/03-08-22 CASA FOREMAN/PLANOS/A-05 RESTORATION ELEVATIONS



**RESTORATION ELEVATION A**  
 scale: 1/4"=1'-0" (if printed on 24"x36")

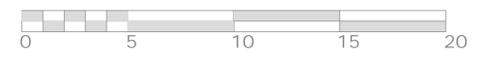


**TYP. PERIPHERAL DETAIL 1**  
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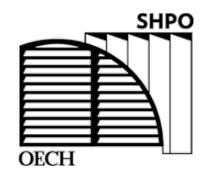


**RESTORATION ELEVATION B**  
 scale: 1/4"=1'-0" (if printed on 24"x36")

**NOTE:**  
 ELEMENTS SHOWN IN BLUE SHALL BE NEW. SEE SPECS.



NATIONAL PARK SERVICE



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No.	Issue	Date

Drawn by: GM | EM | CB | LR  
 Reviewed by: vv

SHEET TITLE AND NUMBER:

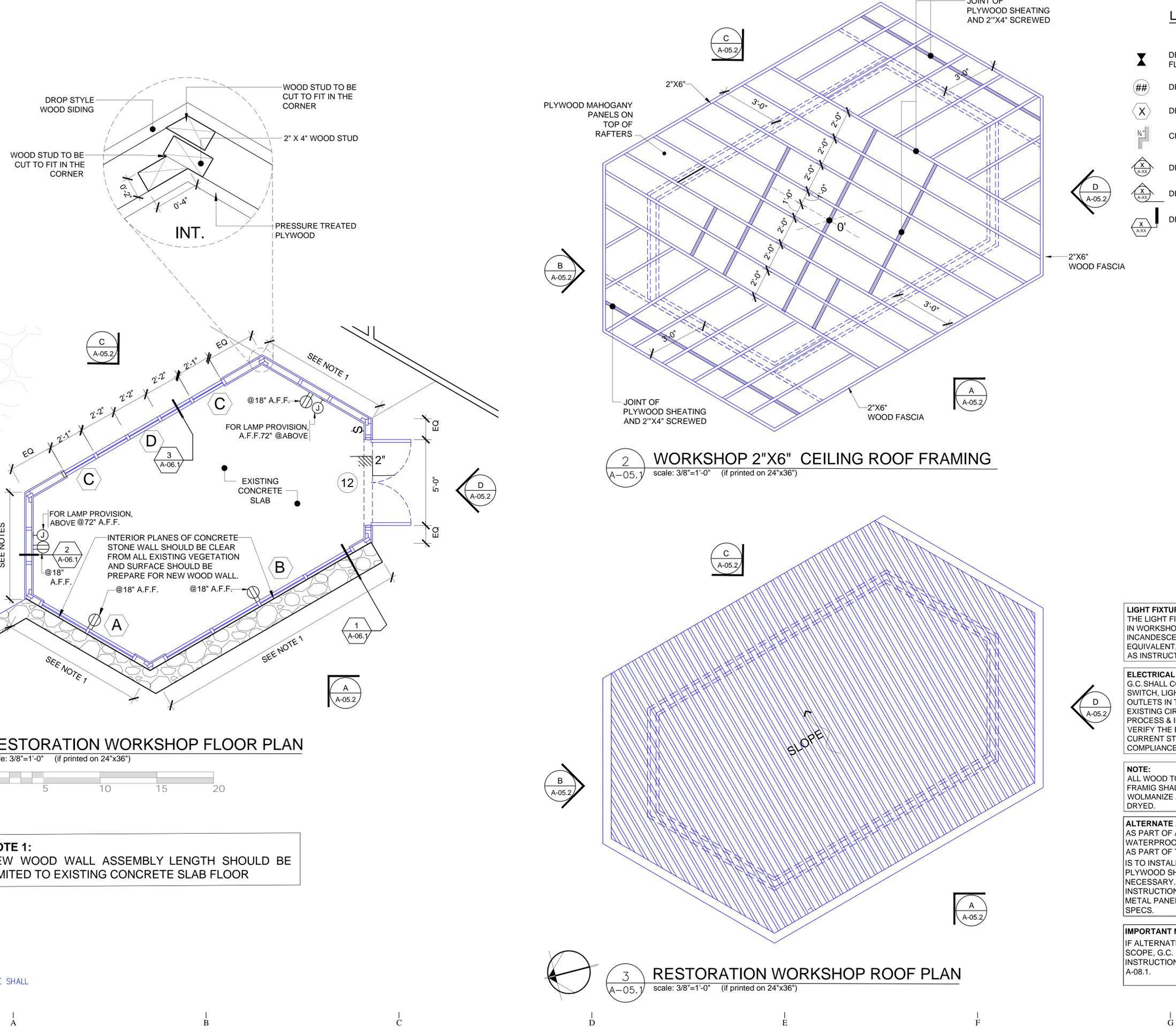
**A - 05**  
 RESTORATION ELEVATIONS

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BY: V.M.V. DATE: JUNE 29, 2023

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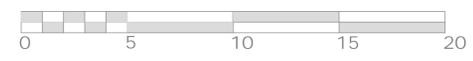


- LEGEND:**
- DENOTES CHANGE OF FLOOR PATTERN
  - DENOTES DOOR TYPE
  - DENOTES WINDOW TYPE
  - CHANGE IN LEVEL
  - DENOTES ELEVATION
  - DENOTES BUILDING SECTION
  - DENOTES DETAIL NUMBER

**2 WORKSHOP 2"X6" CEILING ROOF FRAMING**  
 scale: 3/8"=1'-0" (if printed on 24"x36")

**3 RESTORATION WORKSHOP ROOF PLAN**  
 scale: 3/8"=1'-0" (if printed on 24"x36")

**1 RESTORATION WORKSHOP FLOOR PLAN**  
 scale: 3/8"=1'-0" (if printed on 24"x36")



**NOTE 1:**  
 NEW WOOD WALL ASSEMBLY LENGTH SHOULD BE LIMITED TO EXISTING CONCRETE SLAB FLOOR

**LIGHT FIXTURE NOTE:**  
 THE LIGHT FIXTURES TO BE INSTALLED IN WORKSHOP SHALL BE A LEVITON INCANDESCENT LAMP HOLDER, OR EQUIVALENT, ON THE WALL AT 72" A.F.F. AS INSTRUCTED ON SHEET A-05.1

**ELECTRICAL NOTE:**  
 G.C. SHALL CONNECT THE NEW LIGHT SWITCH, LIGHT FIXTURES, AND OUTLETS IN THE WORKSHOP TO THE EXISTING CIRCUIT. DURING BIDDING PROCESS & INSPECTION, G.C. SHALL VERIFY THE EXISTING CIRCUIT'S CURRENT STATE AND IF IT MEETS CODE COMPLIANCE.

**NOTE:**  
 ALL WOOD TO BE USED FOR ROOF FRAMING SHALL BE YELLOW PINE WOLMANIZE AND TREATED COMPLETE DRYED.

**ALTERNATE A**  
 AS PART OF ALTERNATE A, G.C. SHALL WATERPROOF THE WORKSHOP ROOF. AS PART OF THIS ALTERNATE THE G.C. IS TO INSTALL NEW 1/2" TREATED PLYWOOD SHEATHING WHEN NECESSARY. G.C. MUST FOLLOW INSTRUCTIONS ON SHEET A-08.1 FOR METAL PANEL INSTALLATION. SEE SPECS.

**IMPORTANT NOTE:**  
 IF ALTERNATE A IS NOT PART OF THE SCOPE, G.C. SHALL FOLLOW INSTRUCTIONS SHOWN ON SHEET A-08.1.



NATIONAL PARK SERVICE

**SHPO**

**OECH**

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No.	Issue	Date

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 Reviewed by: VV

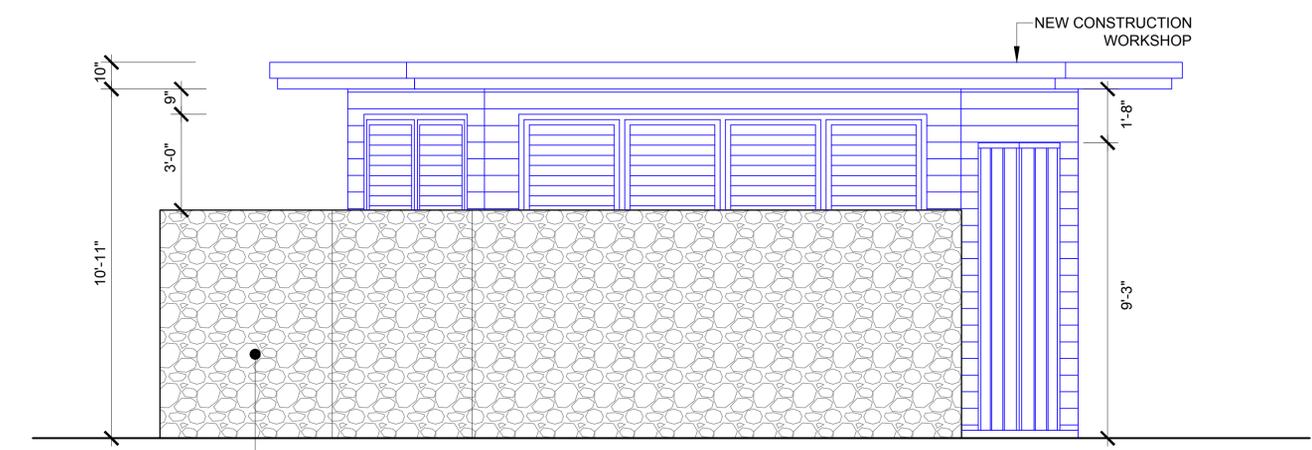
SHEET TITLE AND NUMBER:  
**A - 05.1**  
 RESTORATION WORKSHOP FLOOR PLAN, ROOF PLAN & RCP

**ISSUE FOR BIDDING**  
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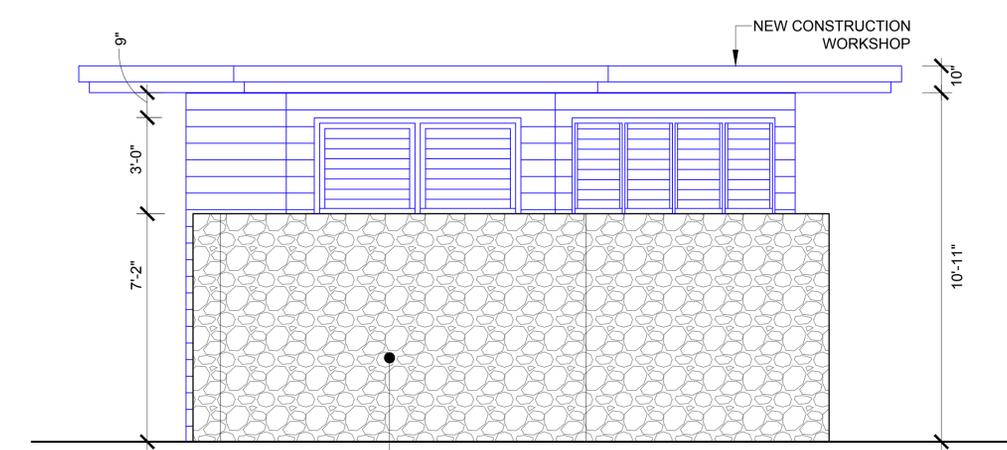
BY: V.M.V. DATE: JUNE 29, 2023

A | B | C | D | E | F | G

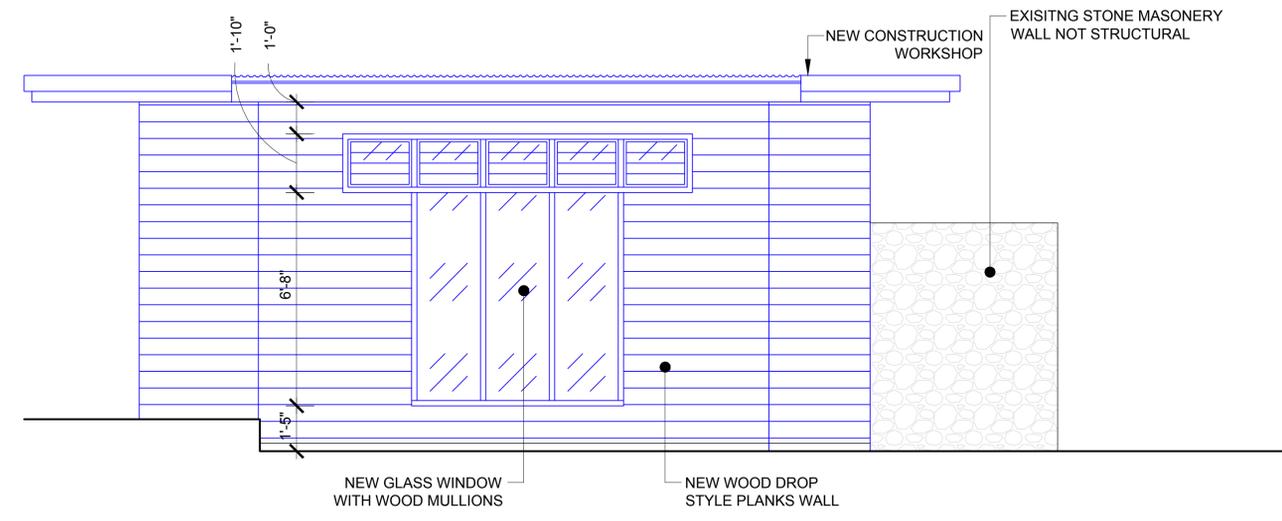
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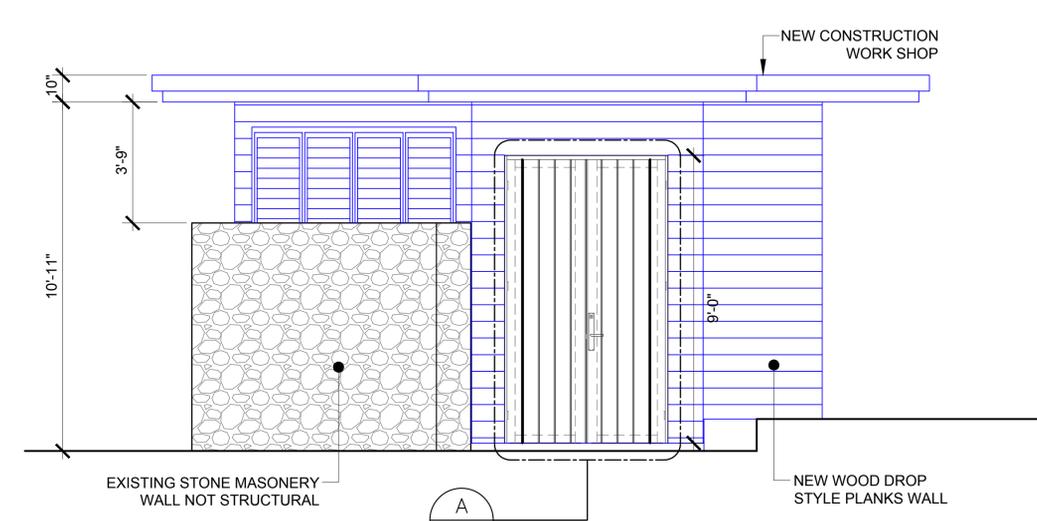
**RESTORATION ELEVATION A**  
scale: 1/4"=1'-0" (if printed on 24"x36") A-05.2



**RESTORATION ELEVATION B**  
scale: 1/4"=1'-0" (if printed on 24"x36") A-05.2



**RESTORATION ELEVATION C**  
scale: 1/4"=1'-0" (if printed on 24"x36") A-05.2

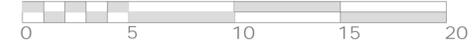


**RESTORATION ELEVATION D**  
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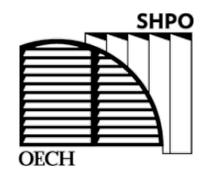
NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.

NOTE:  
BLUE LINES INDICATE NEW ELEMENTS

A | B | C | D | E | F | G



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No.	Issue	Date
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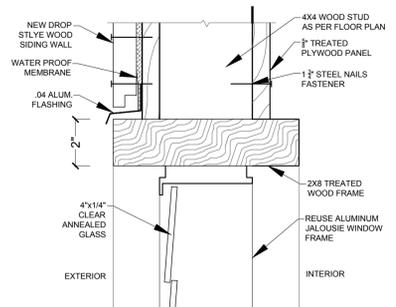
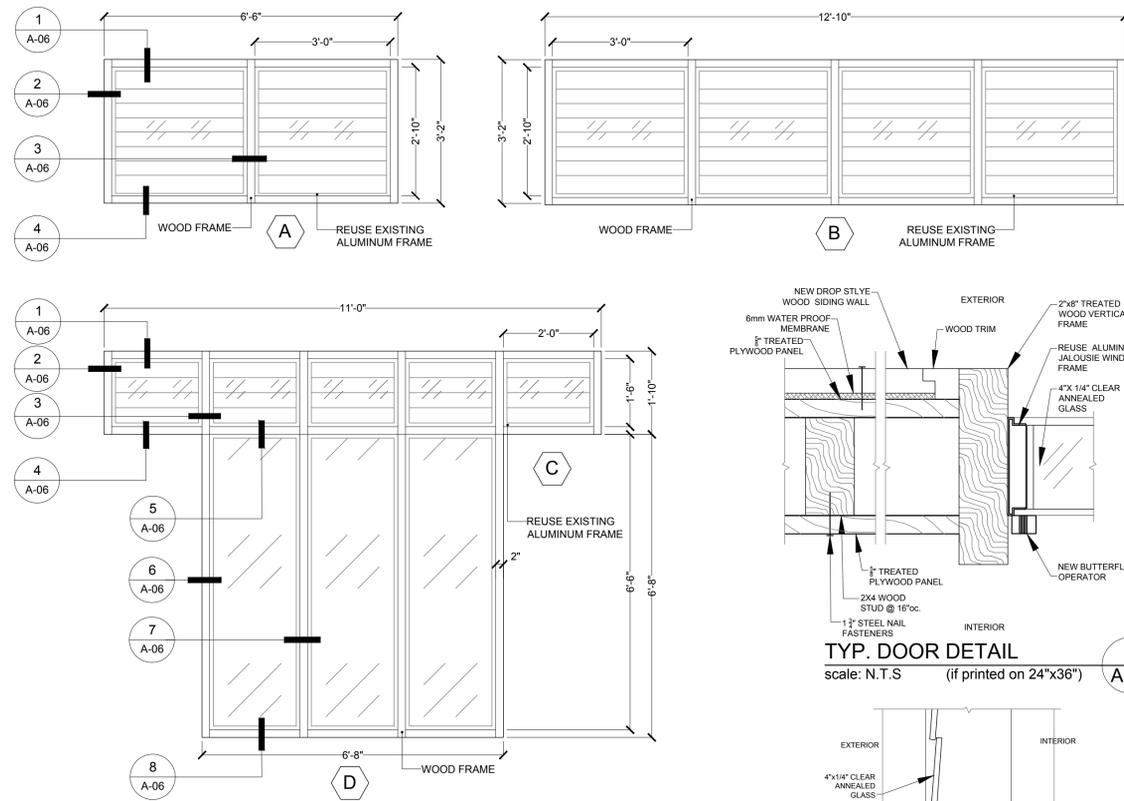
Drawn by: GM | EM | CB | LR  
Reviewed by: VV

SHEET TITLE AND NUMBER:  
**A - 05.2**  
RESTORATION  
WORKSHOP ELEVATIONS

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NOT FOR CONSTRUCTION

BY: V.M.V. DATE: JUNE 29, 2023

# WINDOWS



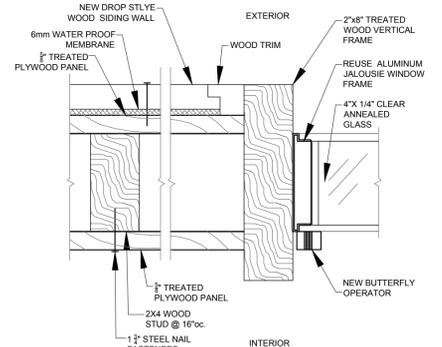
**TYP. DOOR DETAIL 1**  
scale: N.T.S (if printed on 24"x36")  
A-06

WIN. No.	WINDOW			MATERIAL	TYPE	GLASS	FRAME		HARDWARE SET No.	NOTE
	WIDE	HEIGHT	THICK				MATERIAL	TYPE		
(A)	6'-6"	3'-2"	0'-4"	WOOD / GLASS	JL	1 1/4" GLASS	WOOD / ALUM.			NEW WOOD FRAME TO MATCH EXISTING DESIGN. CLEAN & REUSE EXISTING ALUMINUM FRAME & HARDWARE.
(B)	12'-10"	3'-2"	0'-4"	WOOD / GLASS	JL	1 1/4" GLASS	WOOD / ALUM.			NEW WOOD FRAME TO MATCH EXISTING DESIGN. CLEAN & REUSE EXISTING ALUMINUM FRAME & HARDWARE.
(C)	11'-10"	1'-10"	0'-4"	WOOD / GLASS	JL	1 1/4" GLASS	WOOD / ALUM.			NEW WOOD FRAME TO MATCH EXISTING DESIGN. CLEAN & REUSE EXISTING ALUMINUM FRAME & HARDWARE.
(D)	6'-8"	6'-8"	0'-4"	WOOD / GLASS	FX	3/8" G. LAM	WOOD			NEW WOOD FRAME TO MATCH EXISTING DESIGN.

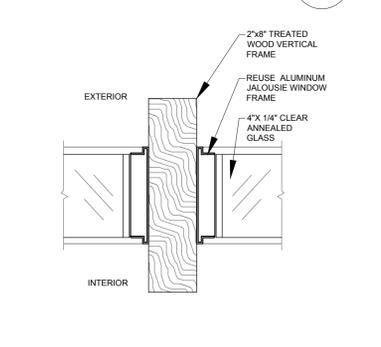
\* DIMENSIONS TO BE RECTIFIED BY GENERAL CONTRACTOR BEFORE BIDDING.

### DOOR AND WINDOW NOTES:

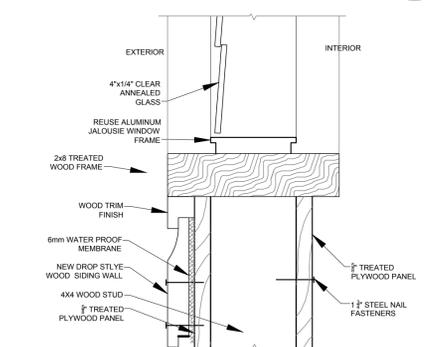
- ALL PROPOSED DOORS & WINDOWS SHALL BE ADAPTED TO EXISTING WALL OPENINGS.
- BEFORE WOODWORKING, MANUFACTURING CONTRACTOR SHALL SUBMIT THREE (3) WOOD FINISHED SAMPLES FOR THE A/E OFFICE'S APPROVAL.
- WOODWORKING CONTRACTOR MUST BE A MEMBER OF AWI AND SHALL PREPARE DETAILED SHOPDRAWINGS OF ALL DIFFERENT CONDITIONS ON DOORS & WINDOWS FOR THE ARCHITECT & OWNER'S APPROVAL BEFORE MANUFACTURING. THIS REQUIREMENT SHALL BE STRICTLY ENFORCED.
- CONTRACTOR SHALL SUBMIT MOCK-UPS OF ALL WOODWORK TO BE PERFORMED FOR TYPICAL DOORS, WINDOWS, AND FRAMES FOR ARCHITECT'S APPROVAL BEFORE MANUFACTURING.
- ALL CARPENTRY FRAME CORNER JOINTS IN WINDOWS AND DOORS SHALL MITERED AT ANGLES OF 45 DEGREES.
- WOOD WINDOWS AND WOOD FRAMES SHALL BE FINISHED WITH GLIDDEN MAHOGANY STAIN AND 2 COATS OF SATIN SEALER UNLESS OTHERWISE INDICATED. COLOR OF AVAILABLE TINTS SHALL BE SUBMITTED TO THE A/E OFFICE FOR APPROVAL BEFORE SAMPLE PREPARATION.
- ALL LAMINATED GLASS TO BE USED SHALL HAVE COLOR NEUTRAL DOUBLE SIDED ANTI-REFLECTIVE COATING WITH A <1.0% REFLECTANCE.
- EXISTING WINDOW AND DOORS HARDWARE ACCESSORIES SHALL BE REMOVED, CLEANED AND, IF NEEDED, REPAIRED FOR REUSE. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND STORING THESE UNTIL NEEDED.
- CONTRACTOR SHALL SUBMIT SAMPLES AND LITERATURE OF NEW HARDWARE FOR THE A/E APPROVAL BEFORE ORDERING.
- ALL NEW WOOD DOORS AND WINDOWS SHALL BE FIRST GRADE YELLOW PINE WOOLMANIZED TREATED/FULLY DRYED.
- G.C. SHALL TAKE GENERAL AND DETAILED PHOTOGRAPHS OF ALL THE WINDOWS AND DOORS THAT ARE INSTRUCTED TO BE REMOVED FOR NEW. ITS IMPORTANT TO TAKE DETAILED PHOTOS OF THE DOOR AND WINDOW HARDWARE (HINGES, DOOR MECHANISM, DOOR LEVER, LOCK, ETC) BEFORE REMOVING FROM EXISTING LOCATION.
- NEW WOOD DOORS AND WINDOWS FRAMES SHALL BE FINISHED WITH PAINT AS PER SPEC. G.C SHALL SUBMIT TO A/E OFFICE FOR APPROVAL BEFORE SAMPLE PREPARATION. PLEASE PROVIDE MATERIALS SAMPLES AS PER CONSTRUCTION INDUSTRY BEFORE PURCHASE ORDER.
- C.M.T - MEANS FIXED WINDOW TYPE; C.M.T - MEANS CASEMENT WINDOW TYPE AND J.L - MEANS JALOUSIE WINDOWS TYPE.
- ALL EXTERIOR EXISTING WOOD WINDOWS AND DOORS SURFACE SHALL BE COMPLETELY PREPARE FOLLOWING THE SPEC BEFORE FINAL FINISH.
- GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN ALL EXISTING EXTERIOR WINDOW, DOOR AND HARDWARE.
- GENERAL CONTRACTOR SHALL MATCH EXISTING MOLDING ON NEW WINDOWS AND DOORS.
- NEW OPERABLE JALOUSIE WINDOWS SHALL MATCH WITH EXISTING DESIGNS.
- G.C. SHALL REPAIRED BROKEN GLASSES ON EXISTING WINDOWS.



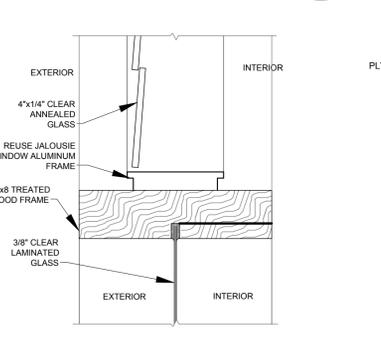
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scale: N.T.S (if printed on 24"x36")  
A-06



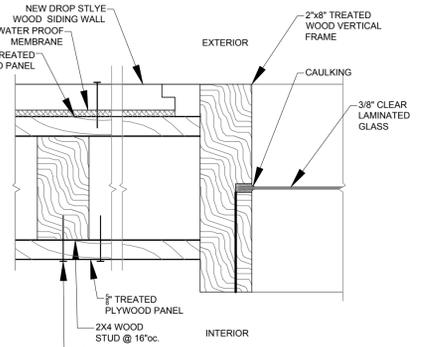
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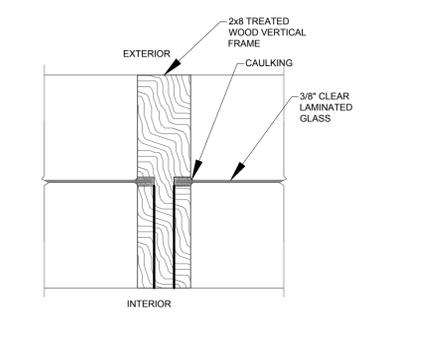
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**TYP. DOOR DETAIL 5**  
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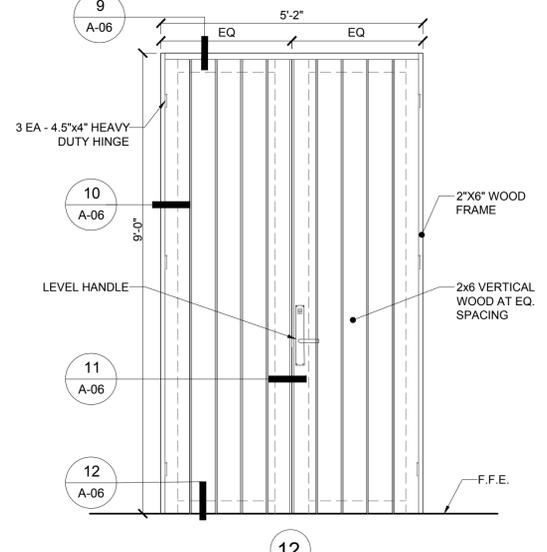


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**TYP. DOOR DETAIL 7**  
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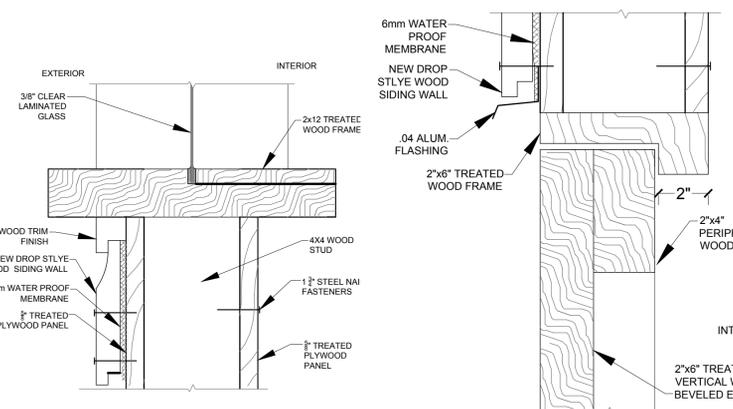
# DOOR



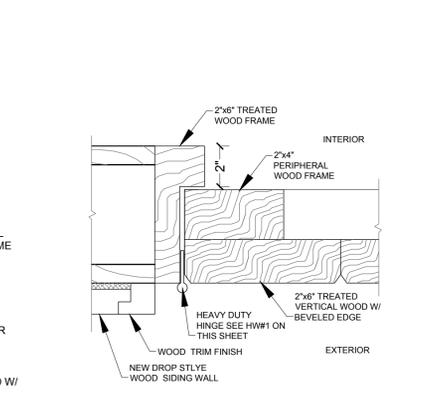
**DOOR TYPE 1**  
scale: 2"=1'-0" (if printed on 24"x36")

### DOOR HARDWARE SCHEDULE:

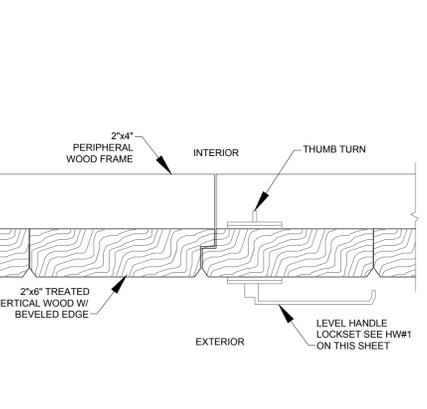
- HW SET #1
- 1ea TABOR LEVER EXTERIOR LATCH SET/ KEY - THUMB TURN /BRASS #C107191/ OIL-RUBBED BRONZE / BY: REJUVENATION.COM OR EQUIVALENT.
- 3ea HEAVY DUTY BALL BEARING HINGES 4 1/2"x4"/STEEL #238006 /OIL RUBBED BRONZE / BY: HARDWARESOURCE.COM OR EQUIVALENT.



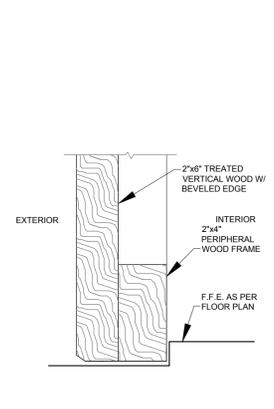
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scale: N.T.S (if printed on 24"x36")  
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**TYP. DOOR DETAIL 9**  
scale: N.T.S (if printed on 24"x36")  
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**TYP. DOOR DETAIL 10**  
scale: N.T.S (if printed on 24"x36")  
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**TYP. DOOR DETAIL 11**  
scale: N.T.S (if printed on 24"x36")  
A-06



**TYP. DOOR DETAIL 12**  
scale: N.T.S (if printed on 24"x36")  
A-06



**FOREMAN HOUSE**  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
Registration No. 11445 PR.

**arquiteq**  
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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de los Agencias, Juntos Reglamentados o Corporaciones Públicas con Jurisdicción. Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia por sea por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODP.

**PROFESSIONAL TEAM:**

Victor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date

Drawn by: GM | EM | CB | LR  
Reviewed by: VV

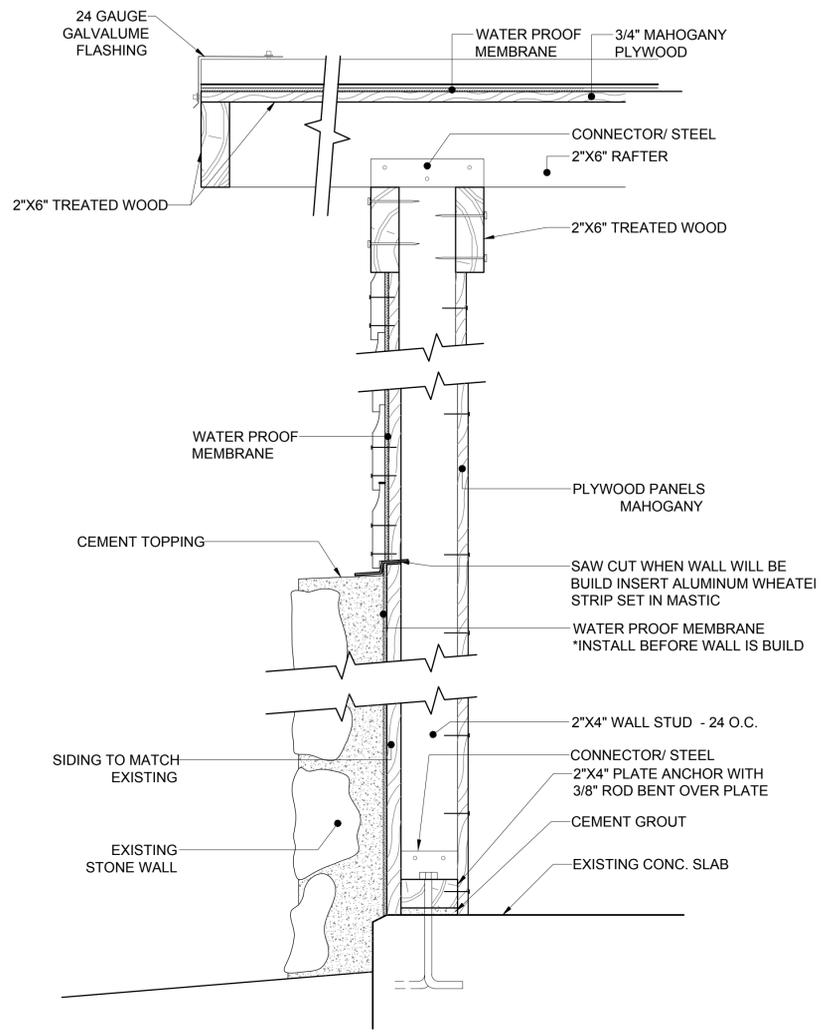
SHEET TITLE AND NUMBER:  
**A-06**  
DOORS & WINDOWS  
SCHEDULE

**ISSUE FOR BIDDING**  
NOT FOR CONSTRUCTION

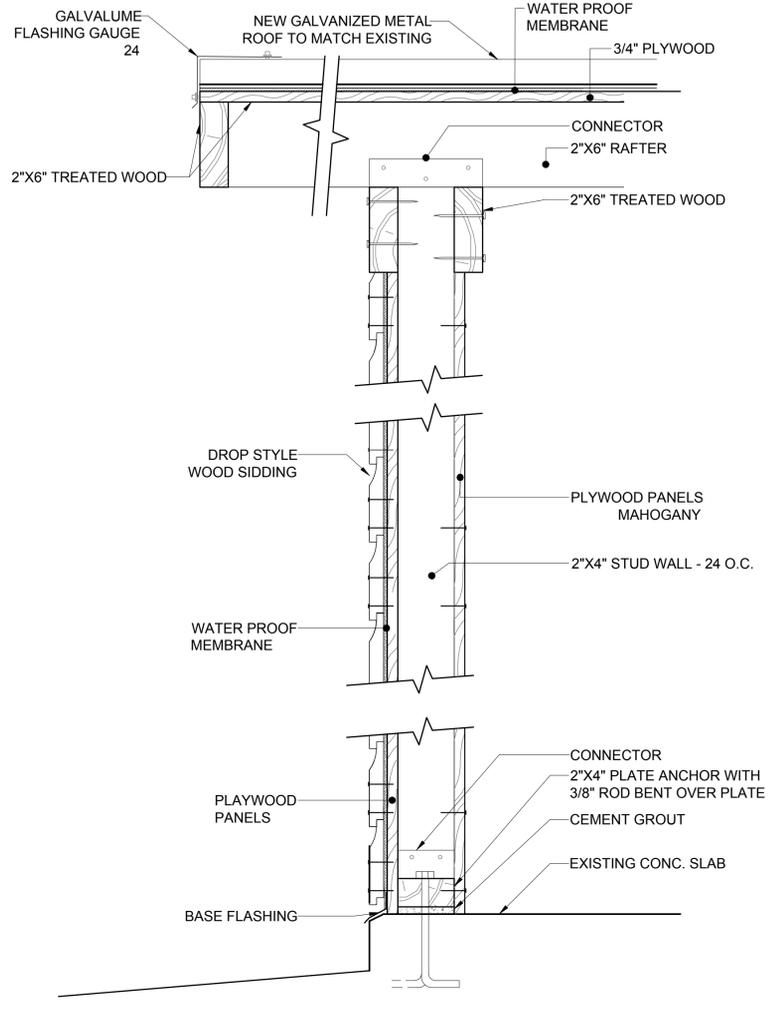
BY: V.M.V. DATE: JUNE 29, 2023

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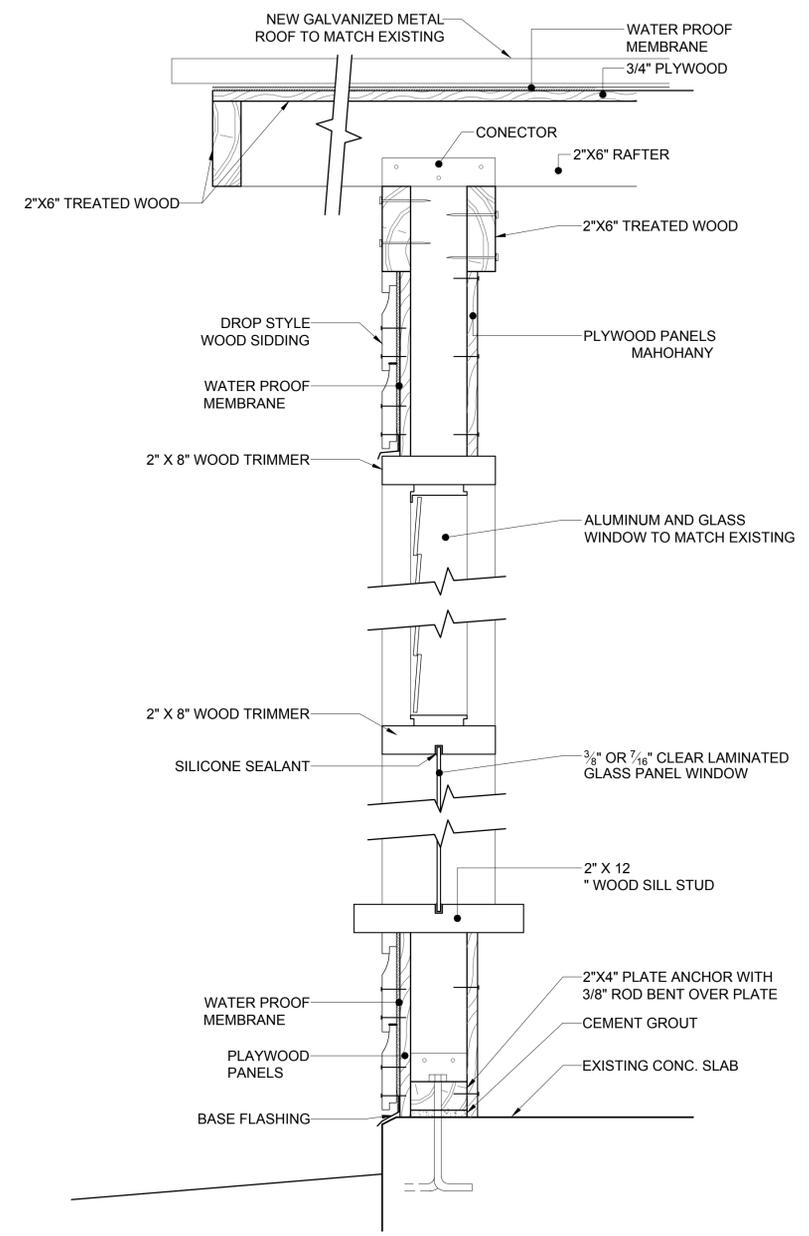
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**WALL SECTION 1**  
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**WALL SECTION 2**  
scale: 2"=1'-0" (if printed on 24"x36")

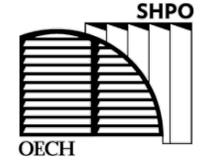


**WALL SECTION 3**  
scale: 2" = 1'-0" (if printed on 24"x36")

**WORKSHOP WATERPROOFING MEMBRANE NOTE**  
WORKSHOP WALLS SHALL INCLUDE BREATHER FR SYSTEM - A1 CLASS FIRE RATED WEATHERPROOFING BREATHABLE MEMBRANE BY EFFISUS, OR EQUIVALENT. G.C. SHALL FOLLOW INSTRUCTIONS ON SHEET A-06.1 FOR MEMBRANE LOCATION.



NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

**FOREMAN HOUSE**  
AJUNTAS, PUERTO RICO

Architect of Record:  
Victor M. Villegas, A.I.A.  
Registration No. 11445 PR.

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Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date

Drawn by: GM | EM | CB | LR  
Reviewed by: VV

SHEET TITLE AND NUMBER:  
**A - 06.1**  
WORKSHOP  
WALL SECTION AND DOOR TYPE

**ISSUE FOR BIDDING**  
NOT FOR CONSTRUCTION  
BY: V.M.V. DATE: JUNE 29, 2023

/Volumes/ARQ DATA/ACTIVOS/RESTAURACIONES SHPO - FSHPF-HIM/PROYECTOS/03-08-22 CASA FOREMAN/PLANOS/A-07 FINISHES & SUBMITTALS

A | B | C

**FINISH NOTES:**

1. EXISTING WOOD RESTORATION

IT IS THE INTENT THAT THE G.C. FOLLOW THE PROCEDURE BELOW FOR ALL WOODEN ELEMENTS INDICATED TO BE RESTORED ON THE CONSTRUCTION DRAWINGS. THE G.C. SHALL USE THESE NOTES AS A GENERAL INSTRUCTION, HOWEVER, MANUFACTURER INSTRUCTIONS ALWAYS GOVERN. AN ALTERNATE PRODUCT MAY BE SUBMITTED FOR ARCHITECT APPROVAL. MANUFACTURER INSTRUCTIONS CAN BE ACCESSED THROUGH THIS LINK:  
<https://www.loghelp.com/images/LiquidWood-WoodEpoxy-Instructions.pdf>

DUE TO CONTRACTORS BEING RESPONSIBLE TO CAREFULLY INSPECT THE PROPERTY AND VALIDATE THE DAMAGES SHOWN ON DWGS PRIOR TO PROVIDING THEIR BID, HE SHALL BE RESPONSIBLE TO REPAIR ALL OTHER DAMAGED WOOD PLANKS THAN THOSE MARKED IN THE CONSTRUCTION DRAWINGS. G.C IS RESPONSIBLE FOR RESTORING THOSE AS WELL AT THEIR COST. THIS IS ONLY APPLICABLE IN THE SAME GENERAL AREA OF THE RESTORATION WORK BEING DONE. GC SHALL BE RESPONSIBLE TO ASK IN WRITING IF QUESTION ARISE DURING INSPECTION AND BIDDING.

G.C. MUST PROVIDE A MINIMUM OF THREE (3) ONE SQUARE FEET IDENTICAL SAMPLES OF FINISHED RESTORED WOOD ELEMENT PRIOR TO PROGRESSING WITH THE ENTIRE WORK. A/E WILL RETAIN ONE OF THESE SAMPLES.

WOOD RESTORATION MATERIALS SHALL BE USED AS PER MFR RECOMMENDATIONS.

A. PREPARATION INSTRUCTIONS:

a. SURFACE ADHESION MAY BE IMPAIRED BY IMPROPERLY PREPARED SURFACES, WHICH MUST BE CLEANED AND DRY. OILS, GREASE, WAX, FAT, SOAP, PAINT, LUBRICANTS, LOOSE MATTER, AND MOST KINDS OF SOIL PREVENT ADHESION AND PENETRATION.

b. DRY AFFECTED WOOD MEMBER COMPLETELY. IF COMPLETE DRYING IS NOT POSSIBLE IN PLACE, THE MEMBER MUST BE REMOVED AND KEPT IN A COOL DRY PLACE UNTIL DRY. IF THIS PRECAUTION IS NOT TAKEN, THE EPOXY CAN ACTUALLY TRAP MOISTURE IN WOOD FIBERS AND ACCELERATE THE DECAY PROCESS.

c. OLD PAINT SHOULD BE REMOVED. IT CAN BE SCRAPED, SANDED OR STRIPPED. STRIPPER RESIDUE SHOULD BE REMOVED. OIL, GREASE AND OTHER CONTAMINANTS CAN BE REMOVED WITH DETERGENTS, SOLVENTS OR OTHER AGENTS. MOISTURE AND WATER DIMINISH PENETRATION AND ADHESION. MOISTURE CONTENT SHOULD BE BELOW 17%. WOOD CAN BE DRIED WITH HEAT OR VENTILATION. ANOTHER METHOD TO ACCELERATE DRYING IS BRUSHING ACETONE (CAUTION: FLAMMABLE) ON THE WET SURFACE. THIS SOLVENT BLENDS WITH WATER AND ACCELERATES ITS EVAPORATION.

d. ORGANIZATION AND CLEANLINESS ARE KEYS TO PROPER EPOXY REPAIR. HAVE ALL MATERIALS AT HAND BEFORE THE MIXING PROCESS BEGINS. LABEL ALL CAPS AND LIDS SO THAT A CAP OR LID IS NOT PLACED ON THE WRONG CONTAINER OR IT WILL BE STUCK THERE FOREVER. PUTTING ALL MATERIALS ASSOCIATED WITH THE OTHER ON THE RIGHT HELPS KEEP THINGS SEPARATED. PROTECT ALL ADJACENT SURFACES FROM SPILLS WITH PLASTIC SHEETING. IF ANY EPOXY HAPPENS TO SPILL, WIPE IT UP IMMEDIATELY BEFORE IT SETS OR IT WILL NOT COME UP.

B. EXECUTION:

a. REMOVE ANY ROTTEN, LOOSE WOOD MATERIAL IN THE AREA TO BE RESTORED.

b. DRILL 1/4" OR 3/16" HOLES IN AFFECTED WOOD TO RECEIVE EPOXY CONSOLIDANT WILL LEAK OUT FROM BEHIND. WHEN ON A VERTICAL SURFACE, ANGLE THE HOLES SO EPOXY WILL NOT LEAK BACK OUT.

c. FOLLOWING MANUFACTURER'S INSTRUCTIONS, MIX A SMALL AMOUNT OF THE CONSOLIDANT COMPONENTS IN EQUAL PARTS, THE RESIN AND THE HARDENER, TOGETHER. AVOID SHALLOW OR TOO LARGE CONTAINERS. USE A SEPARATE MEASURING TOOL TO SCOOP FROM THE RESIN AND THE HARDNER TO AVOID CONTAMINATION. STIR THE MIXTURE THOROUGHLY BY HAND, ALWAYS WEARING GLOVES, OR WITH A THIN STICK.

d. CAREFULLY POUR THE CONSOLIDANT INTO THE PRE-DRILLED HOLES. THE AIM IS TO COMPLETELY SATURATE THE WOOD. MOVE FROM HOLE TO HOLE REFILLING UNTIL THE WOOD CAN HOLD NO MORE. MORE THAN ONE APPLICATION MAY BE NEEDED.

e. AFTER THE CONSOLIDANT HAS CURED, THE VOIDS IN THE SURFACE CAN BE FILLED WITH EPOXY FILLER. IF THE VOIDS ARE LARGE, FILLER CAN BE APPLIED IN SUCCESSION, 1" OF DEPTH AT A TIME. THIS CUTS DOWN ON THE POSSIBILITY OF PROBLEMS ASSOCIATED WITH HEAT BUILD-UP.

f. MIXING OF THE TWO-PART EPOXY FILLER IS SIMILAR TO THE CONSOLIDANT. WHEN MIXED, THE FILLER HAS THE CONSISTENCY OF A GLAZING COMPOUND AND CAN BE WORKED WITH A PUTTY KNIFE. THE SURFACE OF THE FILLER SHOULD BE BUILT UP SLIGHTLY ABOVE OF THE WOOD SURFACE TO ALLOW FOR PLANING AND SANDING SMOOTH AFTER IT HAS CURED.

g. WAIT AT LEAST 24 HOURS AFTER HARDENING AND SAND LIGHTLY BEFORE PAINTING OR STAINING.

h. G.C. SHALL ENSURE THAT SURFACE IS PAINTED AND/OR STAINED TO ACHIEVE A COLOR MATCH WITH THE EXISTING FLOOR. THE FINISHED PRODUCT MUST MATCH THE EXISTING, INCLUDING EMULATING THE EXISTING JOINTS IN ORDER FOR THE WORK TO PASS INCONSPICUOUSLY.

i. APPLY COPPER GREEN WOOD PRESERVATIVE.  
<https://www.homedepot.com/p/Copper-Green-1-gal-Wood-Preservative-Copper-1/100203025> TO ALL EXISTING REPAIR & NON REPAIRED WOOD ELEMENTS AFTER THE REPAIRS HAS BEEN FINISHED, OR EQUIVALENT, APPLY USING A MIST SPRAYER.

C. WOOD REPAIR MATERIALS:

USE LIQUIDWOOD,OR EQUIVALENT, FOR FILLING VOIDS IN DAMAGED WOODS. LIQUIDWOOD CONSISTS OF 2 CLEAR LIQUIDS: THE RESIN (A), AND THE HARDENER (B). WHEN A AND B ARE MIXED BY SIMPLE STIRRING, A BLEND IS FORMED WITH UNUSUAL PROPERTIES TO IMPREGNATE AND RESTORE WOOD AND OTHER POROUS MASSES. LIQUIDWOOD IS BRUSHED OR POURED ON THE SURFACE WHERE IT MUST BE ABSORBED. THE MORE POROUS THE WOOD, THE MORE RESIN IT WILL ABSORB, AND THE GREATER THE IMPROVEMENT. LIQUIDWOOD IMPREGNATES THE WOOD FIBERS AND HARDENS INTO A WATER- AND INSECT-RESISTANT, DISTORTION-FREE, HIGH-STRENGTH MASS IN HOURS OR MINUTES. THE HARDENED MASS CAN BE SAWED, PLANED, ROUTED, CARVED, DRILLED, SANDED, GLUED AND PAINTED.

USE WOOD EXPOX BY ABATRON, OR EQUIVALENT, FOR STRUCTURAL RECONSTRUCTION OF WOOD. USE WOODPOX IS A LIGHT-WEIGHT STRUCTURAL ADHESIVE PUTTY SYSTEM AND WOOD SUBSTITUTE CONSISTING OF 2 COMPONENTS: RESIN PASTE (A) AND HARDENER PASTE (B). WHEN A AND B ARE MIXED, THE BLEND HARDENS WITHIN 1-2 HOURS INTO A LIGHTER-THAN-WATER NON-SHRINKING, TOUGH ADHESIVE MASS WITH HIGH DIMENSIONAL STABILITY, CHEMICAL, WATER, HEAT AND WEATHER RESISTANCE. ITS APPEARANCE IS A LIGHT NEUTRAL COLOR THAT CAN BE CHANGED, WHILE MIXING, WITH STAINS, DYES OR PIGMENTS. IT HAS A NO-SLUMP PASTE CONSISTENCY THAT ALLOWS IT TO BE APPLIED LIKE PUTTY TO FILL GAPS, HOLES, OR TO BUILD UP VIRTUALLY ANY THICKNESS AND SHAPE. BOTH PRODUCTS ARE PRODUCED BY ABATRON, INC. PLEASE SELECT THE FOLLOWING LINK FOR THE WOOD REPAIR MATERIALS:  
<https://www.abatron.com/product/wood-restoration-kit/>.

2. NEW KITCHEN AND BATHROOM FLOORING

NEW BATHROOM AND KITCHEN FLOORING SHALL BE 3/4" THK. TRU SELF-LEVELING NATURAL, CHARCOAL NO. 1174, HIGH PERFORMANCE ARCHITECTURAL TOPPING BY RAPIDSET, OR EQUIVALENT. IF MATERIAL IS TO BE APPLIED ABOVE A REINF. CONCRETE TOPPING, IT SHALL BE OF NO LESS THAN 3,000 PSI. FINAL TRUE SELF-LEVELING TOPPING LEVEL SHALL BE EQUIVALENT TO THAT OF THE ORIGINAL VINYL TILE.

G.C. SHALL SUBMIT A 3'X3' SAMPLE TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

G.C. SHALL CONSIDER THE REPLACING THE EXISTING SUBFLOORING "IN-KIND" WHERE THE NEW FINISH FLOOR IS TO BE INSTALLED, UNLESS NOTED OTHERWISE. AFTER THE REMOVAL OF THE EXISTING FINISH FLOORING, THE PREPARATION OF THE EXISTING SURFACE SHALL BE AS TILE MANUFACTURER RECOMMENDATIONS.

5. PAINT - EXISTING INTERIOR WALL & CEILING

PAINT SHALL BE APPLIED ACCORDING TO CONSTRUCTION DRAWINGS. PAINT COLOR SHALL BE SELECTED BY THE ARCHITECT.

SURFACE PREPARATION SHALL BE MADE ACCORDING TO TECHNICAL SPECS. G.C. IS RESPONSIBLE FOR VERIFYING THE LEAD REPORT SUBMITTED AS PART OF THE BIDDING DOCUMENTATION TO ENSURE THAT THE INTERIOR WALL SURFACES ARE FREE OF LEAD PRIOR TO COMMENCING THE WORK. IF G.C. FINDS IN THE REPORT THE SURFACE CONTAINS THE HAZARDOUS MATERIAL, PROPER MITIGATION PROCEDURES SHALL BE FOLLOWED.

ALL WALLS & PLASTER CEILINGS, UNLESS OTHERWISE SPECIFIED, SHALL BE SPRAY PAINTED EGGSHELL GLIDDEN ONE COAT INTERIOR PAINT + PRIMER, OR APPROVED EQUIVALENT. WOOD CEILINGS SHALL BE PAINTED WITH PAINT SUITABLE FOR WOOD.

GENERAL CONTRACTOR AT HIS EXPENSE SHALL MAKE AT LEAST (10) TEN DIFFERENT 10X8" SAMPLES OF SELECTED COLORS ON WALLS AND CEILINGS FOR ARCHITECT'S EVALUATION. CONTRACTOR SHALL REQUEST THE ARCHITECT COLOR AND WALLS WERE SAMPLES ARE REQUESTED.

A | B | C

D | E

**CONT. FINISH NOTES:**

6. EXTERIOR SIDING WOOD PRESERVATIVE

G.C. SHALL BE RESPONSIBLE FOR CLEANING THE ALL EXTERIOR WOOD SIDING PRIOR COMMENCING THE APPLICATION OF THE WOOD PRESERVATIVE.

ALL EXISTING EXTERIOR WOOD SIDING SHALL HAVE APPLIED RAW LINSEED OIL BY LANCO, OR EQUIVALENT. G.C. SHALL APPLY FOLLOWING MANUF. RECOMMENDATIONS.

GENERAL CONTRACTOR AT HIS EXPENSE SHALL MAKE A SAMPLE FOR ARCHITECT & OWNER APPROVAL PRIOR TO COMMENCING THE WORK.

7. NEW GALVALUME METAL ROOFING

DURING THE CONSTRUCTION PROCESS, THE G.C. IS RESPONSIBLE TO PROTECT THE INTERIOR OF THE PROPERTY WHILE THE ROOF IS BEING REPLACED.

CONTRACTOR SHALL GALVALUME STEEL ROOF PANELS / GAUGE 24/ SM-RB/ FULL LENGTH EACH SLOPE ON ROOF AS SHOWN ON CONSTRUCTION DRAWINGS. G.C. MAY SUBMIT AN ALTERNATE PRODUCT FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO THE WORK.

G.C. SHALL INSTALL A 24 GAUGE GALVALUME METAL FLASHING USING STAINLESS STEEL SCREWS AS INDICATED ON THE DRAWING SET.

G.G. SHALL PROVIDE A SAMPLE OF THE METAL ROOF PANEL FOR ARCHITECT APPROVAL PRIOR TO COMMENCING THE WORK.

ASSEMBLY MATERIALS AND INSTALLATION AS PER DRAWING SPECS. THE SCREWS SHALL BE THE SAME COLOR AS THE METAL ROOF AND FASTENED TO THE RIBS OF THE METAL PANEL.

10. VAPOR BARRIER

AS PART OF ALTERNATE D, G.C. SHALL REMOVE EXTERIOR SIDING, AS INSTRUCTED ON THE DRAWINGS, ND INSTALL A 10MIL VAPOR BARRIER BLUE BY AMERICOVER, OR EQUIVALENT. INSTALLATION SHALL BE DONE ACCORDING TO MANUF. SPECIFICATIONS.

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**SUBMITTAL NOTES:**

1. CONTRACTOR SHALL DELIVER TO THE DESIGNATED INSPECTOR AND ARCHITECT, PRIOR TO OR AT THE PRE-CONSTRUCTION CONFERENCE, A PRELIMINARY SUBMITTALS SCHEDULE (SUBMITTAL LOG) OF ALL REQUIRED SUBMITTALS, SHOP DRAWINGS, SAMPLES, TECHNICAL DATA FOR FABRICATED MATERIALS AND EQUIPMENT SPECIFICATIONS FOR A/E APPROVAL.

2. SUBMITTAL LOG SHALL INCLUDE (BUT NOT LIMITED TO) PROJECT'S NAME AND NUMBER, REVISION DATE, SUBMITTAL'S NUMBER, TITLE OR DESCRIPTION, DATE DELIVERED, DATE RECEIVED, DATE REJECTED, DATE APPROVED AND COMMENTS, IF ANY, IN ORDER TO FACILITATE ARCHIVING AND DOCUMENTS ADMINISTRATION, THE STANDARDIZATION OF THE SUBMITTALS NAMES AND IDENTIFICATION NUMBERS IS RECOMMENDED.

3. G.C. SHALL INCLUDE IN SUBMITTAL LOG THE ANTICIPATED INITIAL PRESENTATION DATE OF EACH SUBMITTAL..

4. SUBMITTALS SHALL BE NUMBERED ACCORDING TO SUBMITTAL LOG.

5. CONTRACTOR SHALL REVISE, COMMENT, APPROVED, SIGN AND SEAL ALL SUBMITTALS BEFORE DELIVERY FOR INSPECTOR AND A/E REVISION. NO SUBMITTAL WILL BE CONSIDERED IF IT COMES WITHOUT CONTRACTOR'S SIGN AND SEAL, CONFIRMING THAT HE OR SHE HAS REVIEWED THE SUBMITTAL AND THAT THE SUBMITTED ITEM OR ITEMS ARE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

6. THE DESIGNATED INSPECTOR BY THE OWNER HAS THE RESPONSIBILITY TO REVISE AND COMMENT ON ALL SUBMITTAL CONTENT TO VERIFY THAT THE INFORMATION INCLUDED IS COMPLETE AND PRECISE BEFORE DELIVERING IT FOR A/E APPROVAL. NO SUBMITTAL WILL BE CONSIDERED BY A/E IF IT COMES WITHOUT INSPECTOR'S REVISION.

7. CONTRACTOR SHALL CAREFULLY CONTROL HIS PROCUREMENTS OPERATIONS TO ENSURE THAT EACH INDIVIDUAL SUBMITTAL IS MADE ON OR BEFORE THE CONTRACTOR'S SCHEDULED SUBMITTAL DATE SHOWN ON THE APPROVED SUBMITTAL LOG.

8. GENERAL CONTRACTOR IS REQUIRED TO ALLOW SUFFICIENT TIMING FOR SUBMISSION, REVIEW, SHIPMENT AND MANUFACTURING OF ALL PRODUCTS, MATERIALS AND/OR EQUIPMENT. PRODUCTS AND/OR MATERIALS UNAVAILABLE OR STOCK SHORTER DO NOT RELIEVE THE GENERAL CONTRACTOR FROM COMPLYING WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

9. SUBSTITUTIONS OF MATERIALS BASED ON THE SOLE REASON OF SHORTER ARRIVAL TIME WILL NOT BE CONSIDERED BY THE A/E REGARDLESS OF THE TIME INCREASE THIS MAY CAUSE PENALTIES FOR THE CONTRACTOR. GENERAL CONTRACTOR SHALL PLAN TIMING OF SUBMITTALS DELIVERY WITH ALL SUB-CONTRACTORS AND THEIR SUPPLIERS.

10. ALL SUBMITTALS SHALL BE RECEIVED ACCORDING TO THE AGREEMENT BETWEEN THE CONTRACTOR AND THE GOVERNMENT AGENCY. IT WILL BE THE ARCHITECT'S OFFICE PREROGATIVE TO ACCEPT OR REJECT ALL OR ANY SUBMITTAL CONTAINING SPECIFIED EQUIVALENT PRODUCTS, CONTRACTOR SHALL PROVIDE AND INSTALL MATERIALS ACCORDING TO CONSTRUCTION DOCUMENTS

11. SUBMITTALS SHALL INCLUDE ITEMS SUCH AS: CONTRACTOR'S, MANUFACTURER'S OR FABRICATOR'S DRAWINGS (SHOP DRAWINGS), DESCRIPTIVE LITERATURE INCLUDING (BUT NOT LIMITED TO) CATALOG CUTS, DIAGRAMS, OPERATING CHARTS OR CURVES, TEST REPORTS, SAMPLES, CERTIFICATIONS, WARRANTIES, AND OTHER SUCH REQUIRED INFORMATION.

12. G.C. IS RESPONSIBLE FOR THE SUBMITTALS TO BE WITH MARKS, NOTES AND INDICATIONS, THAT PROPERLY IDENTIFIES ALL THE INFORMATION RELATED TO THE SUBMITTED PRODUCT AND OR MATERIAL, SUCH AS BUT NOT LIMITED TO MODEL, SIZE, PERFORMANCE, AND FINISHES.

13. A/E WILL NOT CONSIDER SUBMITTALS WITH INCOMPLETE INFORMATION NECESSARY TO IDENTIFY THE SUBMITTED PRODUCT. INCLUDING, BUT NO LIMITED TO PRODUCTS: MODEL, NUMBER, SERIES, ACCESSORIES, COLOR, FINISH AND OTHER CHARACTERISTICS THAT VARIES THE PRODUCT SPECIFICATION.

14. AT A MINIMUM G.C. SHALL PROVIDE SUBMITTALS (SAMPLE, SHOP DRAWING, AND/OR DATA SHEET) FOR:

14.1. ALL NEW MATERIALS THAT WILL BE INSTALLED;

14.1.1. SAMPLE AND SHOP DRAWING OF THE CROWN MOLDINGS, FLOOR BASES, WALL TRIMS, AND DOOR CASINGS.

14.1.2. WOOD SIDING PANNELS

14.1.3. FLOORS AND CEILINGS

14.1.4. LIGHTING FIXTURES

14.1.5. GUARDRAILS AND HANDRAILS

14.1.6. BATHROOMS ACCESSORIES

14.1.7. BATHROOMS EQUIPMENTS

14.1.8. STAIRS

14.1.9. DRY WALL PANELS

14.1.10. PAINTS

14.1.11. TILES

14.1.12. HARDWARE

14.1.13. DOORS & WINDOWS

14.1.14. MILLWORK

14.1.15. WATER PROOFING MEMBRANES

14.1.16. OTHERS

15. CONSTRUCTION DRAWINGS SHALL NOT BE DIRECTLY USED AS PART OF ANY SUBMITTAL OR SHOP DRAWINGS. CONTRACTOR SHALL PRODUCE OR DEVELOP ORIGINAL SHOP DRAWINGS FOR THIS PROJECT. IN ANY CASE ELECTRONIC DWG OR DXF FILES WILL BE PROVIDED BY ARCHITECTS TO THE CONTRACTOR.

16. ALL SAMPLES, MATERIAL INFORMATION AND SHOP DRAWINGS SHALL BE PREPARED SPECIFICALLY FOR THIS PROJECT. SHOP DRAWINGS SHALL BE DRAWN TO SCALE, INCLUDING DIMENSIONS AND DETAILS, SHOWING ADJACENT CONSTRUCTION AND RELATED WORK. NOTE ANY SPECIAL COORDINATION REQUIRED. NOTE ANY DEVIATIONS FROM REQUIREMENTS OF CONTRACT DOCUMENTS.

17. THE A/E REVIEW OF SUBMITTALS WILL BE ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN IN THE CONSTRUCTION DOCUMENTS AND SEE IF THEY CONFORM TO THE DESIGN INTENT. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR DETERMINING THE ACCURACY OF MEASUREMENTS AND COMPLETENESS OF DETAILS, VERIFYING QUANTITIES AND CHECKING FABRICATION OR INSTALLATION PROCEDURES. THE A/E REVIEW WILL NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.

18. ADDITIONAL SUBMITTALS MAY BE REQUIRED TO THOSE SPECIFIED WHEN DEEMED NECESSARY TO ADEQUATELY DESCRIBE THE WORK COVERED IN THE TECHNICAL SPECIFICATIONS. IT MAY INCLUDE SAMPLES, SHOP DRAWINGS AND/OR TECHNICAL DATA, WITH NO CONTRACT COST CHANGE.

19. ALL MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.

20. ANYTIME A SAMPLE IS REQUIRED, G.C. SHALL SUBMIT A TOTAL OF (3) SAMPLES. (1) IS TO BE SUBMITTED TO THE ARCHITECT, (1) IS TO BE SUBMITTED TO THE STATE HISTORIC PRESERVATION OFFICE, AND (1) IS TO BE KEPT AT THE PROJECT SITE.

21. ALL SUBMITTALS SHALL BE SUBMITTED ELECTRONICALLY VIA EMAIL TO ARQUITECTOVILLEGAS@ARQUITEG.COM AND ARQ.BALLESTER@ARQUITEG.COM

22. A/E = ARCHITECT/ENGINEER

**NOTE:**  
G.C. MAY USE A SUBSTITUTE PRODUCT AS LONG AS IT IS EQUIVALENT TO & MATCHES THE CHARACTERISTICS OF ALL SPECIFIED PRODUCTS SPECIFIED ON SHEET A-07. G.C. SHALL SUBMIT ALL PROPOSED SUBSTITUTE PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR ORDER.

**IMPORTANT NOTE**  
THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.

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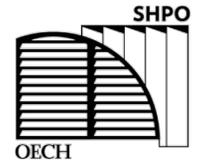
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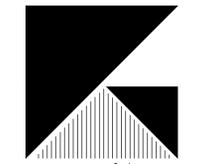
NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

**FOREMAN HOUSE**  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
Registration No. 11445 PR.



arquiteg  
ARQUITECTOS  
INGENIEROS  
PLANIFICADORES

AVE. FERNANDEZ JUNCOS 751  
MIRAMAR SAN JUAN  
OFICINA TEL. 723-2031  
FAXCIMIL (787) 722-5031  
arquitectospr@arquiteg.com

Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñé estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y la disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de los Agencias, Juntos Reglamentadoras o Corporaciones Públicas con Jurisdicción Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia por uso por mí, mis agentes o empleados, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OPR.

**PROFESSIONAL TEAM:**

Victor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
1	NOTES UPDATE	06/29/23
2		
3		
4		
5		
6		

Drawn by: GM | EM | CB | LR      Reviewed by: VV

SHEET TITLE AND NUMBER:  
**A-07**  
FINISHES & SUBMITTAL NOTES

**ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION**

BY: V.M.V.      DATE: JUNE 29, 2023

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**ASBESTOS GENERAL NOTES:**

- ASBESTOS ABATEMENT PROJECT WILL CONSIST OF THE REMOVAL AND DISPOSAL OF ASBESTOS CONTAINING MATERIAL IN ORDER TO FACILITATE PROJECT.
- RELATED PROJECT DOCUMENTS:
  - ENVIRONMENTAL SURVEY FOR ASBESTOS CONTAINING MATERIALS REPORT BY ZIMMETRY ENVIRONMENTAL.
  - SPECIFICATION SECTION 02 26 23 - ASBESTOS ABATEMENT
- THE LOCATIONS OF IDENTIFIED ASBESTOS CONTAINING MATERIAL ARE PRESENTED ON SURVEY REPORT. ACTUAL REMOVAL LOCATION AND QUANTITIES TO BE REMOVED MAY VARY BASED ON THE PROJECT SCOPE OF WORK. G.C SHALL QUANTIFY.
- THE CONTRACTOR SHALL BE AWARE OF ALL CONDITIONS OF THE PROJECT AND IS RESPONSIBLE FOR VERIFYING QUANTITIES AND LOCATIONS OF ALL ASBESTOS CONTAINING MATERIALS. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF ITS OBLIGATION TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS AND ALL GOVERNING CODES, RULES, AND REGULATIONS. WHERE CONFLICTS OCCUR BETWEEN THE PROJECT DOCUMENTS AND APPLICABLE CODES, RULES, AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.
- BEFORE STARTING THE WORK, THE CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
- ASBESTOS REMOVAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PUERTO RICO DEPARTAMENTO DE RECURSOS NATURALES Y AMBIENTALES (DRNA) RULES 102, 422, AND 501, USEPA NESHAPS 40 CFR 61, AND OSHA 29 CFR 1926. THESE SHALL BE THE MINIMUM RULES FOR THIS PROJECT.
- ABATEMENT ACTIVITIES INCLUDING BUT NOT LIMITED TO WORK AREA PREPARATION, GROSS REMOVAL ACTIVITIES, CLEANING ACTIVITIES, WASTE REMOVAL, ETC. MAY NEED TO BE PERFORMED DURING 'OFF-HOURS'.
- THE CONTRACTOR SHALL NOT INTERFERE WITH DAILY ACTIVITIES WITHIN THE REMAINDER OF THE BUILDING OR OTHERWISE AFFECT DAILY OPERATIONS OR PUBLIC ACTIVITIES.
- THE CONTRACTOR MUST MAINTAIN CURRENT LICENSES PURSUANT TO LOCAL AND FEDERAL REGULATIONS FOR ALL WORK RELATED TO THIS PROJECT, INCLUDING THE REMOVAL, HANDLING, TRANSPORT, AND DISPOSAL OF ASBESTOS CONTAINING MATERIALS.
- THE CONTRACTOR SHALL HAVE AND SUBMIT PROOF THAT ANY PERSONS EMPLOYED BY THE CONTRACTOR TO ENGAGE IN OR SUPERVISE WORK ON ANY ASBESTOS PROJECT HAVE A VALID DRNA CERTIFICATION.
- ALL WORK INCLUDING, BUT NOT LIMITED TO, PHASING, SCHEDULING, AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND THE OWNER'S REPRESENTATIVES.
- CONTRACTOR SHALL PROVIDE A COPY OF THEIR WORK PLAN AND OTHER SUBMITTALS DETAILED IN THE PROJECT SPECIFICATIONS PRIOR TO THE START OF THE ABATEMENT PROJECT.
- CONTRACTOR SHALL CONFINE THEIR APPARATUS, STORAGE OF MATERIALS AND SUPPLIES, AND THE OPERATION OF WORKERS TO THE LIMITS ESTABLISHED BY LAW, ORDINANCES, AND THE DIRECTIONS OF THE OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL CONSULT THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVED ACCESS ROUTES TO THE BUILDING AND SHALL ENSURE THAT NO EXITS FROM THE BUILDING AREA OBSTRUCTED. CONTRACTOR SHALL ENSURE THAT APPROPRIATE SAFETY BARRIERS ARE ESTABLISHED.
- PACKING, TRANSPORTATION, AND DISPOSAL SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL REGULATIONS. COPIES OF ASBESTOS WASTE MANIFESTS AND/OR OTHER RECEIPTS ISSUED BY THE WASTE HAULER AND DISPOSAL FACILITY SHALL BY PROVIDED TO THE OWNER UPON PROJECT COMPLETION.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE FEDERAL AND LOCAL EMPLOYEE HEALTH AND SAFETY REGULATIONS.
- ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ALL ASBESTOS CONTAINING MATERIALS DOWN TO THE SUBSTRATE TO A SURFACE THAT IS FREE AND CLEAR OF RESIDUE AND SUITABLE FOR REPLACEMENT MATERIALS.
- THE CONTRACTOR SHALL COORDINATE ALL ASBESTOS ABATEMENT AND TEMPORARY PROTECTION TO ENSURE THAT THE BUILDING REMAINS WATERTIGHT WHEN ABATEMENT IMPACTS THE BUILDING ENVELOPE.
- THE ASBESTOS ABATEMENT CONTRACTOR SHALL PERFORM ALL PRE-DEMOLITION ACTIVITIES NECESSARY TO COMPLETE THE WORK AND COORDINATE SUCH ACTIVITIES WITH THE OWNER. COORDINATE PRE-DEMOLITION WITH CONSTRUCTION MANAGEMENT AND GENERAL CONTRACTOR AS NECESSARY.
- NON-FRIABLE ABATEMENT METHODS WILL BE ALLOWED
- REMOVE OF AND DISPOSE OF BLACK DAMP-PROOFING AS ACM UTILIZING NON-FRIABLE REMOVAL METHODS. UP TO 1,500 SF OF THIS MATERIAL MAY BE PRESENT WITHIN THE PROJECT WORK AREAS. ABATEMENT WILL ONLY BE PERFORMED ON AN AS NEEDED BASIS. ACTUAL QUANTITY TO BE REMOVED WILL BE DETERMINED DURING CONSTRUCTION.

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**ASBESTOS ABATEMENT:**

- PROJECT DESCRIPTION - THE PROJECT CONSISTS OF THE ABATEMENT OF APPROXIMATELY 352 SF OF VINYL TILE AT THE KITCHEN. ALSO, 38 SF OF VINYL TILE, 27 SF OF BASEBOARD AND 350 SF OF RIGID PANELS AT THE BATHROOM, OF ASBESTOS CONTAINING MATERIALS. THE OBJECT IS TO ISOLATE THE AREA FROM OTHER SPACES TO PREVENT CROSS CONTAMINATION TO NON-CONTAMINATED AREAS.
- PROJECT SAFETY REQUIREMENTS -TO MINIMIZE ANY HAZARD POTENTIAL TO THE HEALTH AND SAFETY OF THE G.C., THE ENVIRONMENTAL CONTRACTOR AND OTHER ASSOCIATED SITE PERSONNEL, BE IT REGULAR OR INCIDENTAL, AN ON-SITE HEALTH AND SAFETY PROTOCOLS WILL BE ALWAYS REQUIRED.
- ALSO, SAFETY MEETINGS ARE A MUST, EITHER AT LEAST ON A WEEKLY BASIS OR WHEN A NEW TASK IS TO BE COMMENCED, AN INCIDENT HAS OCCURRED OR IS SUSPECTED TO OCCUR OR WHENEVER SITE AND WEATHER CONDITIONS MIGHT REQUIRE READDRESSING ANY.
- POTENTIAL HAZARDS. THESE MEETINGS INCLUDE BUT ARE NOT LIMITED TO ESTABLISH SAFETY PROTOCOL, PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS, PPE'S AVAILABILITY AS WELL AS OPERATING CONDITIONS.
- SPECIFIC WORK PLAN AND SPACE LAYOUT FOR ABATEMENT. - ASBESTOS ABATEMENT FALLS WITHIN NESHAP REGULATIONS.
- TO ACHIEVE ABATEMENT ALL CONTAMINATED WALL AREAS WILL BE SEALED IN ITS ENTRANCE WITH DOUBLE LAYER OF 6MIL POLY IN FORM OF AND WORKING AS AN AIRLOCK. A FULL ENCLOSURE WITH NEGATIVE AIR MACHINES WILL BE CONSTRUCTED IN AN ADEQUATE SIZE AS TO FIT THE WHOLE ABATEMENT AREA. THE ENCLOSURES WILL CONSIST OF A WOODEN FRAME COVERED IN DOUBLE 6 MIL POLY SHEETS, SEALED WITH DUCT TAPE. THAT IS 3 WALLS, ROOF (INCLINED TO AVOID WATER RETAINAGE), AND FLOOR. OF COURSE, THE WALL TO BE ABATED WILL NOT HAVE ANY POLY. THE INTENTION IS TO KEEP ANY ASBESTOS FIBERS MIGRATING TO THE EXTERIOR OF THE WORK AREA. THIS AIRLOCK WILL LEAD TO 3-CHAMBER DECONTAMINATION UNIT EQUIPPED WITH A PORTABLE SHOWER THROUGH OUR PERSONNEL WILL ENTER AND EXIT THE AREA. EACH TIME THEY GO IN, THEY MUST BE COMPLETELY UNIFORMED WITH DISPOSABLE CLOTHING AND GLOVES. THEY MUST ALSO HAVE PROPER RESPIRATORY PROTECTION (HALF-FACE RESPIRATORS WITH HEPA FILTERS). ALL THESE AREAS WILL BE CLEARLY IDENTIFIED TO SPREAD AWARENESS OF THE NATURE OF OUR PROJECT.
- ASBESTOS ABATEMENT PERMIT - A SPECIFIC WORK PLAN WILL BE PART OF MANY OTHER DOCUMENTATION THAT WILL BE PRESENTED TO THE PRDNER (PUERTO RICO DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES) DETAILING ALL THE WORK PRACTICES, AND GUIDELINES VANGUARD WILL FOLLOW BEFORE, DURING AND AFTER THE PROJECT'S EXECUTION. IT WILL CONTAIN ALL CREDENTIALS OF THE SUPERVISION, LABORERS, HYGIENISTS, LABORATORIES, TRANSPORTERS, PROJECT DESIGNERS, AND LANDFILL FACILITIES AS WELL AS A COPY OF THE ENVIRONMENTAL REPORT WITH THE FINDINGS REGARDING THIS PROJECT. THESE WILL BE SUBMITTED ALONG A PERMIT SUBMITTAL FORM FOR DNER'S EVALUATION AND APPROVAL.
- COMMUNICATIONS - A HAZARD COMMUNICATION PROGRAM WILL BE IN FORCE DURING THE PROJECT DURATION. SUCH PROGRAM INCLUDES BUT IS NOT LIMITED TO RIGHT TO KNOW ACT, MSDS OF HANDLING SUBSTANCES, LABELING, CLASSIFICATION, RISK ASSESSMENT AND OTHER COMMUNICATION DEEM NECESSARY TO PROVIDE THE WORKER AND ALL ASSOCIATED ENTITIES A CLEAR UNDERSTANDING OF THE RISK INVOLVED AND THE CORRECTIVE ACTIONS IN CASE OF ANY UNFORESEEN INCIDENT.
- ALL PERSONNEL SHOULD KNOW WHAT THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE HANDLED MATERIALS ARE. ANY POSSIBLE REACTIVITY, INFLAMMABILITY, AND EXPLOSIVELY (IF APPLICABLE) SHALL BE PROPERLY ADDRESSED PRIOR TO ANY CONTACT OR HANDLING OF SUCH MATERIALS. THESE HAZARDS COMMUNICATIONS SHALL BE PLACED IN CLEAR VIEW OF ALL INVOLVED PARTIES, EITHER IN A RIGHT TO KNOW STATION OR ON POSTERS STATING THESE RISKS. ALL PERSONNEL HAVES TO BE DULY LICENSED AND EXPERIENCED HANDLING SUCH MATERIALS AS WELL AS UNDERSTANDING ALL POTENTIAL HAZARDS, INCLUDING BUT NOT LIMITED TO WORKING ON OUTDOOR CONDITIONS, HAND SIGNALING, SOUND SIGNALING, AND VISUAL SIGNALING. THE HOT ZONES MUST BE VISUALLY ISOLATED BY BARRICADING WITH AVAILABLE RESOURCES. ALL SAFETY MEETINGS WILL ADDRESS THESE ISSUES CONSTANTLY. HOT ZONES, SUPPORT ZONES, AS WELL AS CHECK POINTS WILL BE CLEARLY MARKED AND IDENTIFIED. ALTHOUGH THE PROJECT HAS A LIMITED AREA, MEANING THAT THE TRANSITION FROM ONE AREA TO THE NEXT IS RELATIVELY SHORT IT ENHANCES THE NEED FOR SUCH CLEAR DEMARICATIONS.
- OTHER SPECIFICS - THE WALL AREAS WILL EXHAUST ITS AIR THROUGH A NEGATIVE AIR MACHINE WITH HEPA WITH A DUCT THAT WILL EXIT ITS FILTERED EXHAUST AIR THROUGH DESIGNATED EXIT. THIS TYPE OF OUTDOOR ENCLOSURE PRESENTS AN IDEAL WAY FOR AIR EXHAUST, BECAUSE THE AIR IS IMMEDIATELY FILTERED BEFORE IT EXITS OUTDOOR WITHOUT ANY AREA BEING OCCUPIED OR IN USE. ALSO, ALL FILTERED WASTEWATERS WILL BE POURED INTO THE NEAREST DRAIN AS APPROVED IN THE SUBMITTED PERMIT.
- DECONTAMINATION - THE DECONTAMINATION CHAMBER WILL BE ADJACENT AND WILL COMMUNICATE TO THE WORKING AREA (HOT ZONE) THROUGH A POLY AIRLOCK. THIS WILL BECOME THE TRANSITION ZONE BETWEEN THE HOT ZONE AND SUPPORTING ZONE. THE AREA WILL HAVE DIRTY/EQUIPMENT ROOM, SHOWER CHAMBER TO WASH EMPLOYEES, AND A CLEAN ROOM TO DON STREET CLOTHING. ALL GENERATED WATERS WILL BE FILTERED WITH A TWO-STAGE 5- AND 25-MICRON FILTERING SYSTEM. THIS WATER CAN BE DISCHARGED THROUGH THE SEWER.
- GENERATED WASTE - ALL WASTE WILL BE DOUBLE-BAGGED IN 6 MIL LABELED POLY BAGS SEALED WITH A GOOSENECK-TYPE TIGHT WITH DUCT TAPE. THESE BAGS WILL BE TAKEN OUT THROUGH THE DECON UNIT, BEING THE ONLY ENTRANCE AND EXIT TO AND FROM THE BATHROOM. THESE BAGS WILL BE PUT IN WHEELED BUGGY THROUGH THE CORRIDOR UP TO THE CLOSED DUMPSTER PARKED NEAR BUT OUTSIDE THE BUILDING, PREFERABLY IN THE PARKING SPACES ACCESSING THE BASEMENT. NO SAMPLING ANALYSIS IS REQUIRED TO DETERMINE FINAL WASTE SITE. ASBESTOS WASTE IS CONSIDERED NON-HAZARDOUS AND WILL BE TRANSPORTED TO PEÑUELAS VALLEY LANDFILL FOR FINAL DISPOSAL. THIS PROCESS WILL ACCOMPANY BY A DULY APPROVED STATE AND DOT MANIFEST.
- FINAL CLEARANCE - THESE TWO ENCLOSURES AS WELL AS OUTSIDE IMMEDIATE AREA WILL BE SAMPLED FOR FINAL CLEARANCE. FOR INDOORS, FINAL CLEARANCE MUST COMPLY WITH .005 FIBERS/CC BY PCM SAMPLING. COMPLIANCE WITH FINAL CLEARANCE WILL ENABLE RB CONSTRUCTION TO CONTINUE WITH RENOVATION ACTIVITIES.
- PROJECT DOCUMENTATION - ALL ACTIVITIES DESCRIBED ABOVE WILL BE DOCUMENTED WITH PHOTOGRAPHIC PROGRESS AND FINAL CONDITIONS, ENTRY LOGS, SAFETY MEETINGS AGENDA, SAMPLING DATA AND DAILY LOGS. THIS SERVES AS THE GENERATORS' COMPLIANCE WITH FEDERAL AND STATE REGULATIONS AND WILL FORM PART OF FINAL REPORT.

**NOTE:**  
G.C. MAY USE A SUBSTITUTE PRODUCT AS LONG AS IT IS EQUIVALENT TO & MATCHES THE CHARACTERISTICS OF ALL SPECIFIED PRODUCTS SPECIFIED ON SHEET A-07. G.C. SHALL SUBMIT ALL PROPOSED SUBSTITUTE PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR ORDER.

**IMPORTANT NOTE**  
THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.

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**LEAD - BASED PAINT GENERAL NOTES:**

- LEAD-BASED COATINGS WERE IDENTIFIED ON SUBSTRATES OF THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL. PROJECT MAY INCLUDE ENCAPSULATION ABATEMENT OF LEAD-BASED PAINT, REMOVAL AND DISPOSAL OF BUILDING MATERIALS COATED WITH LEAD-BASED PAINT, AND DISTURBANCE OF LEAD-BASED PAINT USING LEAD-SAFE WORK PRACTICES.
- RELATED PROJECT DOCUMENTS:
  - LEAD-BASED PAINT SURVEY REPORT BY ZIMMETRY ENVIRONMENTAL.
  - SPECIFICATION SECTION 02 83 19 LEAD BASED PAINT ABATEMENT.
- THE CONTRACTOR SHALL BE AWARE OF ALL DIVISION 02 SPECIFICATION REQUIREMENTS.
- THE LOCATIONS OF IDENTIFIED LEAD-BASED PAINT ARE PRESENTED ON SURVEY REPORT. ACTUAL REMOVAL LOCATION AND QUANTITIES TO BE REMOVED MAY VARY BASED ON THE PROJECT SCOPE OF WORK. G.C SHALL QUANTIFY.
- THE CONTRACTOR SHALL BE AWARE OF ALL CONDITIONS OF THE PROJECT AND IS RESPONSIBLE FOR VERIFYING QUANTITIES AND LOCATIONS OF ALL WORK TO BE PERFORMED. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF ITS OBLIGATION TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS AND ALL GOVERNING CODES, RULES, AND REGULATIONS. WHERE CONFLICTS OCCUR BETWEEN THE PROJECT DOCUMENTS AND APPLICABLE CODES, RULES, AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.
- BEFORE STARTING THE WORKS, THE CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
- BEFORE ORDERING, THE ENVIRONMENTAL CONTRACTOR MUST SUBMIT THE MATERIALS THAT THEY PROPOSE TO USE FOR ENCAPSULATION.
- ONCE THE CONTRACTOR HAS SUBMITTED HIS WORK PLAN AND APPROVAL OF THE MATERIALS TO BE USED, HE MUST PREPARE A 3' x 3' SAMPLE OF HOW THE FINAL WORK WOULD LOOK LIKE. THE CONTRACTOR MUST BEAR IN MIND THAT WE ARE WORKING ON PROJECTS OF HISTORICAL VALUE AND THEREFORE MUST BE CAREFUL NOT TO CAUSE DAMAGE TO THE INTEGRITY OF THE SUBSTRATE MATERIALS, WHETHER THEY ARE WOOD, METALS OR CEMENTITIOUS MATERIALS.
- ACTIVITIES IMPACTING HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO WORK AREA PREPARATION, GROSS REMOVAL ACTIVITIES, CLEANING ACTIVITIES, WASTE REMOVAL, ETC. MAY NEED TO BE PERFORMED DURING 'OFF-HOURS'.
- MULTIPLE MOBILIZATIONS MAY BE REQUIRED TO PERFORM THE WORK IDENTIFIED IN THIS PROJECT. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER OR DESIGNATED OWNER'S REPRESENTATIVE.
- THE CONTRACTOR MUST MAINTAIN CURRENT LICENSES PURSUANT TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS ASSOCIATED WITH THIS PROJECT.
- ALL WORK INCLUDING, BUT NOT LIMITED TO, PHASING, SCHEDULING, AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND THE OWNER'S REPRESENTATIVE(S).
- OTHER COATINGS WHICH CONTAIN LEAD AT CONCENTRATIONS LOWER THAN THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DEFINITION OF LBP ARE PRESENT WITHIN THE CONTRACT WORK AREAS. THESE COATINGS MAY BE REFERRED TO AS LEAD-CONTAINING PAINT OR PAINT CONTAINING LEAD. DISTURBANCE OF LEAD CONTAINING PAINT CAN RESULT IN LEAD-EXPOSURE TO WORKERS AND OCCUPANTS. REFER TO THE ENVIRONMENTAL SURVEY FOR LEAD-BASED PAINT REPORT BY ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL, INC. DATED ADDITIONAL DETAILS ON THE TYPE AND LOCATION OF LEAD-CONTAINING PAINT. DISTURBANCE OF LEAD-CONTAINING PAINT SHALL BE PERFORMED IN ACCORDANCE WITH THE UNITED STATES OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) LEAD IN CONSTRUCTION STANDARD 29 CFR 1926.62 AND ALL OTHER APPLICABLE OSHA HEALTH AND SAFETY REGULATIONS.

**LEAD - BASED PAINT ABATEMENT:**

- PROJECT DESCRIPTION - A LEAD-BASED STUDY PREPARED FOR THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL INDICATES THAT THE PROPERTY HAS LEAD-BASED PAINT ON MANY ELEMENTS. THE GENERAL CONTRACTOR SHOULD BE FAMILIAR WITH SUCH STUDY WHICH HAS BEEN INCLUDED IN THE TECHNICAL SPECIFICATIONS OF THE PROJECT.
- BACKGROUND -THROUGHOUT THE LAST DECADES THESE BUILDING HAVE BEEN SUBJECTED TO SEVERAL RENOVATIONS AND IMPROVEMENTS. MANY OF THE CONSTRUCTION MATERIALS USED IN THE EARLY PHASES OF CONSTRUCTION ARE LEAD-CONTAINING MATERIALS. SUCH AS CERAMIC, WALL PAINT, BATHROOM APPLIANCES AND OTHERS. TO PROCEED WITH THE INTENDED RENOVATION, THE CG SHALL ABATE THESE MATERIALS FOLLOWING FEDERAL AND STATE GUIDELINES.
- PROJECT SAFETY REQUIREMENTS -TO MINIMIZE ANY HAZARD POTENTIAL TO THE HEALTH AND SAFETY OF GENERAL CONTRACTOR SUB-CONTRACTOR AND SITE PERSONNEL, BE IT REGULAR OR INCIDENTAL, AN ON-SITE HEALTH AND SAFETY PROTOCOLS WILL BE ALWAYS REQUIRED.
- ALSO, SAFETY MEETINGS ARE A MUST, EITHER AT LEAST ON A WEEKLY BASIS OR WHEN A NEW TASK IS TO BE COMMENCED, AN INCIDENT HAS OCCURRED OR IS SUSPECTED TO OCCUR OR WHENEVER SITE AND WEATHER CONDITIONS MIGHT REQUIRE READDRESSING ANY POTENTIAL HAZARDS. THESE MEETINGS INCLUDE BUT ARE NOT LIMITED TO ESTABLISH SAFETY PROTOCOL, PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS, PPE'S AVAILABILITY AS WELL AS OPERATING CONDITIONS.
- SPECIFIC WORK PLAN AND SPACE LAYOUT FOR ABATEMENT. - LEAD ABATEMENT SHALL FALLS WITHIN NESHAP REGULATIONS.
- TO ACHIEVE ABATEMENT AND BEFORE STARTING, THE ENVIRONMENTAL SUB-CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
- LEAD-BASED ABATEMENT PERMIT - THE SPECIFIC WORK PLAN WILL BE PART OF OTHER DOCUMENTATION THAT SHALL BE PRESENTED TO THE PRDNER (PUERTO RICO DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES) DETAILING ALL THE WORK PRACTICES, AND GUIDELINES THE GC WILL FOLLOW BEFORE, DURING AND AFTER THE PROJECT'S EXECUTION. IT WILL CONTAIN ALL CREDENTIALS OF THE SUPERVISION, LABORERS, HYGIENISTS, LABORATORIES, TRANSPORTERS, PROJECT DESIGNERS, AND LANDFILL FACILITIES AS WELL AS A COPY OF THE ENVIRONMENTAL REPORT WITH THE FINDINGS REGARDING THIS PROJECT. THESE WILL BE SUBMITTED ALONG A PERMIT SUBMITTAL FORM FOR DNER'S EVALUATION AND APPROVAL.
- COMMUNICATIONS - A HAZARD COMMUNICATION PROGRAM WILL BE IN FORCE DURING THE PROJECT DURATION. ALL SAFETY MEETINGS INCLUDE BUT IS NOT LIMITED TO RIGHT TO KNOW ACT, MSDS OF HANDLING SUBSTANCES, LABELING, CLASSIFICATION, RISK ASSESSMENT AND OTHER COMMUNICATION DEEM NECESSARY TO PROVIDE THE WORKER AND ALL ASSOCIATED ENTITIES A CLEAR UNDERSTANDING OF THE RISK INVOLVED AND THE CORRECTIVE ACTIONS IN CASE OF ANY UNFORESEEN INCIDENT.
- ALL PROJECT PERSONNEL SHOULD KNOW WHAT THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE HANDLED MATERIALS ARE. ANY POSSIBLE REACTIVITY, INFLAMMABILITY, AND EXPLOSIVELY (IF APPLICABLE) SHALL BE PROPERLY ADDRESSED PRIOR TO ANY CONTACT OR HANDLING OF SUCH MATERIALS. THESE HAZARDS COMMUNICATIONS SHALL BE PLACED IN CLEAR VIEW OF ALL INVOLVED PARTIES, EITHER IN A RIGHT TO KNOW STATION OR ON POSTERS STATING THESE RISKS. ALL PERSONNEL HAVE TO BE HANDLING THE HAZARDOUS MATERIALS HAVE TO BE DULY LICENSED AND EXPERIENCED HANDLING SUCH MATERIALS AS WELL AS UNDERSTANDING ALL POTENTIAL HAZARDS, INCLUDING BUT NOT LIMITED TO WORKING ON OUTDOOR CONDITIONS, HAND SIGNALING, SOUND SIGNALING, AND
- VISUAL SIGNALING. THE HOT ZONES MUST BE VISUALLY ISOLATED BY BARRICADING WITH AVAILABLE RESOURCES. ALL SAFETY MEETINGS WILL ADDRESS THESE ISSUES CONSTANTLY. HOT ZONES, SUPPORT ZONES, AS WELL AS CHECK POINTS WILL BE CLEARLY MARKED AND IDENTIFIED. ALTHOUGH THE PROJECT HAS A LIMITED AREA, MEANING THAT THE TRANSITION FROM ONE AREA TO THE NEXT IS RELATIVELY SHORT IT ENHANCES THE NEED FOR SUCH CLEAR DEMARICATIONS.
- OTHER SPECIFICS - THE AREAS WILL EXHAUST ITS AIR THROUGH A VACUUM WITH HEPA FILTER THAT WILL STORE ANY DEBRIS WITHIN ITS CANISTER. ALSO, ALL FILTERED WASTEWATERS WILL BE POURED INTO THE NEAREST DRAIN AS APPROVED IN THE SUBMITTED PERMIT.
- DECONTAMINATION - THE DECONTAMINATION WILL CONSIST IN WEARING A DOUBLE DISPOSABLE SUIT. WITHIN THE MINI ENCLOSURE THE EMPLOYEE WILL REMOVE OUTER SUIT BEFORE EXITING, A DECON ATTENDANT WILL PROCEED TO VACUUM THE INNER SUIT WHILE THE EMPLOYEE IS STILL WEARING IT. AFTER THAT SUIT IS VACUUMED, THEN THE EMPLOYEE CAN REMOVE THE SUIT AND CONTINUE WITH UNDERNEATH STREET GARMENTS. IF THERE IS ANY GENERATED WATERS IT WILL BE FILTERED WITH A TWO-STAGE 5- AND 25-MICRON FILTERING SYSTEM.
- GENERATED WASTE - ALL WASTE WILL BE DOUBLE-BAGGED IN 6 MIL LABELED POLY BAGS SEALED WITH A GOOSENECK-TYPE TIGHT WITH DUCT TAPE. THESE BAGS WILL BE TAKEN OUT THROUGH THE DECON UNIT, BEING THE ONLY ENTRANCE AND EXIT TO AND FROM THE BATHROOM. THESE BAGS WILL BE PUT IN WHEELED BUGGY THROUGH THE CORRIDOR UP TO THE CLOSED DUMPSTER PARKED NEAR BUT OUTSIDE THE BUILDING, PREFERABLY IN THE PARKING SPACES ACCESSING THE BASEMENT. TULO SAMPLING OF THIS WASTE WILL BE COLLECTED AND ANALYZED TO DETERMINE FINAL WASTE SITE. NORMALLY RESULTS NON-HAZARDOUS AND WILL BE TRANSPORTED TO A LEGAL LANDFILL FOR FINAL DISPOSAL. THIS PROCESS WILL ACCOMPANY BY A DULY APPROVED STATE AND DOT MANIFEST.
- FINAL CLEARANCE - THESE AREAS AS WELL AS OUTSIDE IMMEDIATE AREA WILL BE SAMPLED FOR FINAL CLEARANCE. FOR OUTDOORS, FINAL CLEARANCE MUST COMPLY WITH 400 PPM FOR LEAD. COMPLIANCE WITH PARAMETER WILL ENABLE RB CONSTRUCTION TO CONTINUE WITH RENOVATION ACTIVITIES.
- PROJECT DOCUMENTATION - ALL ACTIVITIES DESCRIBED ABOVE WILL BE DOCUMENTED WITH PHOTOGRAPHIC PROGRESS AND FINAL CONDITIONS, ENTRY LOGS, SAFETY MEETINGS AGENDA, SAMPLING DATA AND DAILY LOGS. THIS SERVES AS THE GENERATORS' COMPLIANCE WITH FEDERAL AND STATE REGULATIONS AND WILL FORM PART OF FINAL REPORT.

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NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

FOREMAN HOUSE  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
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PROFESSIONAL TEAM:

Victor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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Drawn by: GM | EM | CB | LR  
Reviewed by: VV

SHEET TITLE AND NUMBER:

**A-07.1**

LEAD BASED PAINT ABATEMENT NOT

ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION

By: V.M.V. DATE: JUNE 29, 2023

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# H/TSP

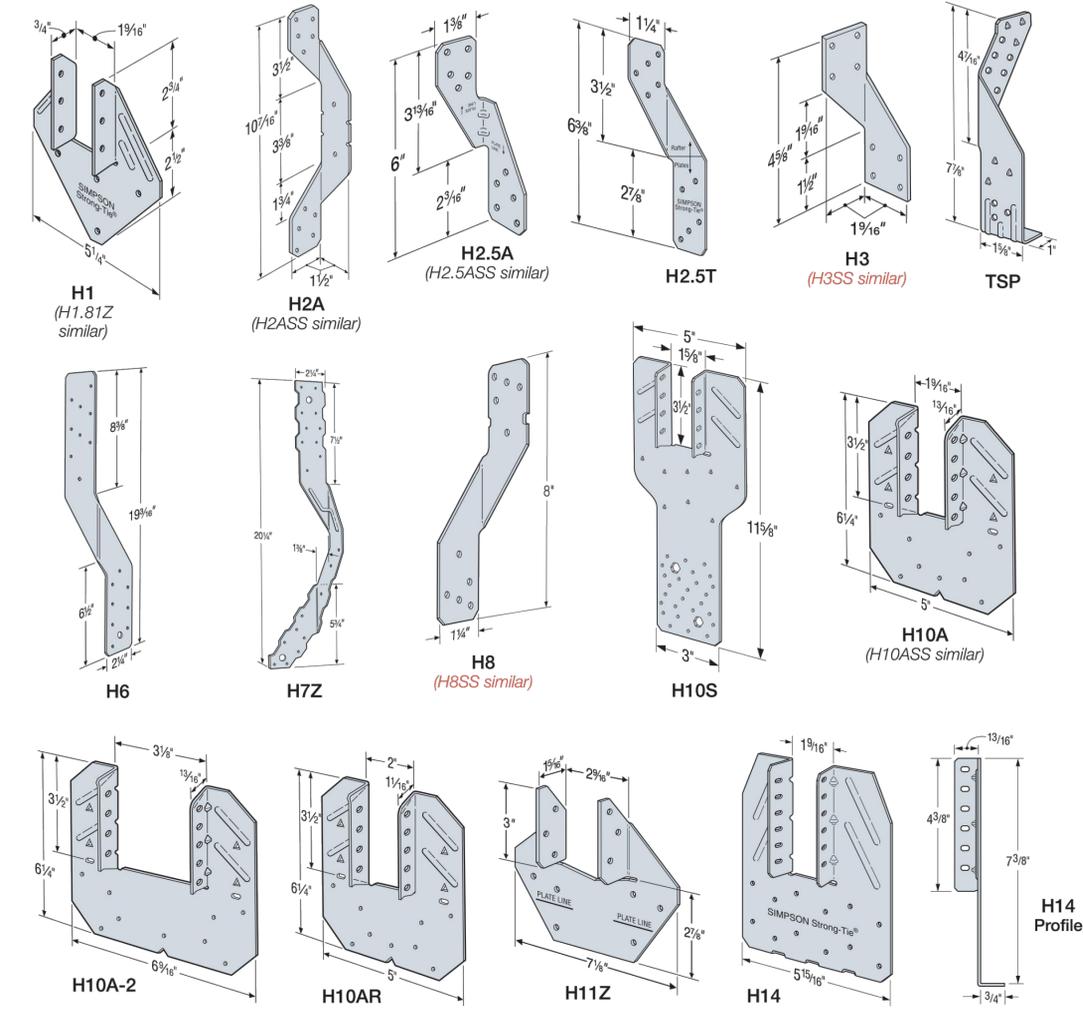
## Seismic and Hurricane Ties

Simpson Strong-Tie hurricane ties provide a positive connection between truss/rafter and the wall of the structure to resist wind and seismic forces.

**Material:** See table  
**Finish:** Galvanized. H1, H1Z, H7Z and H11Z — ZMAX® coating. Some models available in stainless steel or ZMAX; see Corrosion Information, pp. 12–15 or visit [strongtie.com](http://strongtie.com).  
**Installation:**

- Use all specified fasteners; see General Notes.
- Hurricane ties can be installed with flanges facing inward or outward.

- H2.5T, H3 and H6 ties are shipped in equal quantities of right and left versions (right versions shown).
  - Hurricane ties do not replace solid blocking.
  - When installing ties on plated trusses (on the side opposite the truss plate) do not fasten through the truss plate from behind. This can force the truss plate off of the truss and compromise truss performance.
  - H10A optional nailing to connect shear blocking, use 0.131" x 2½" nails. Slots allow maximum field bending up to a pitch of 6:12, use H10A sloped loads for field-bent installation.
- Codes:** See p. 11 for Code Reference Key Chart



Straps and Ties

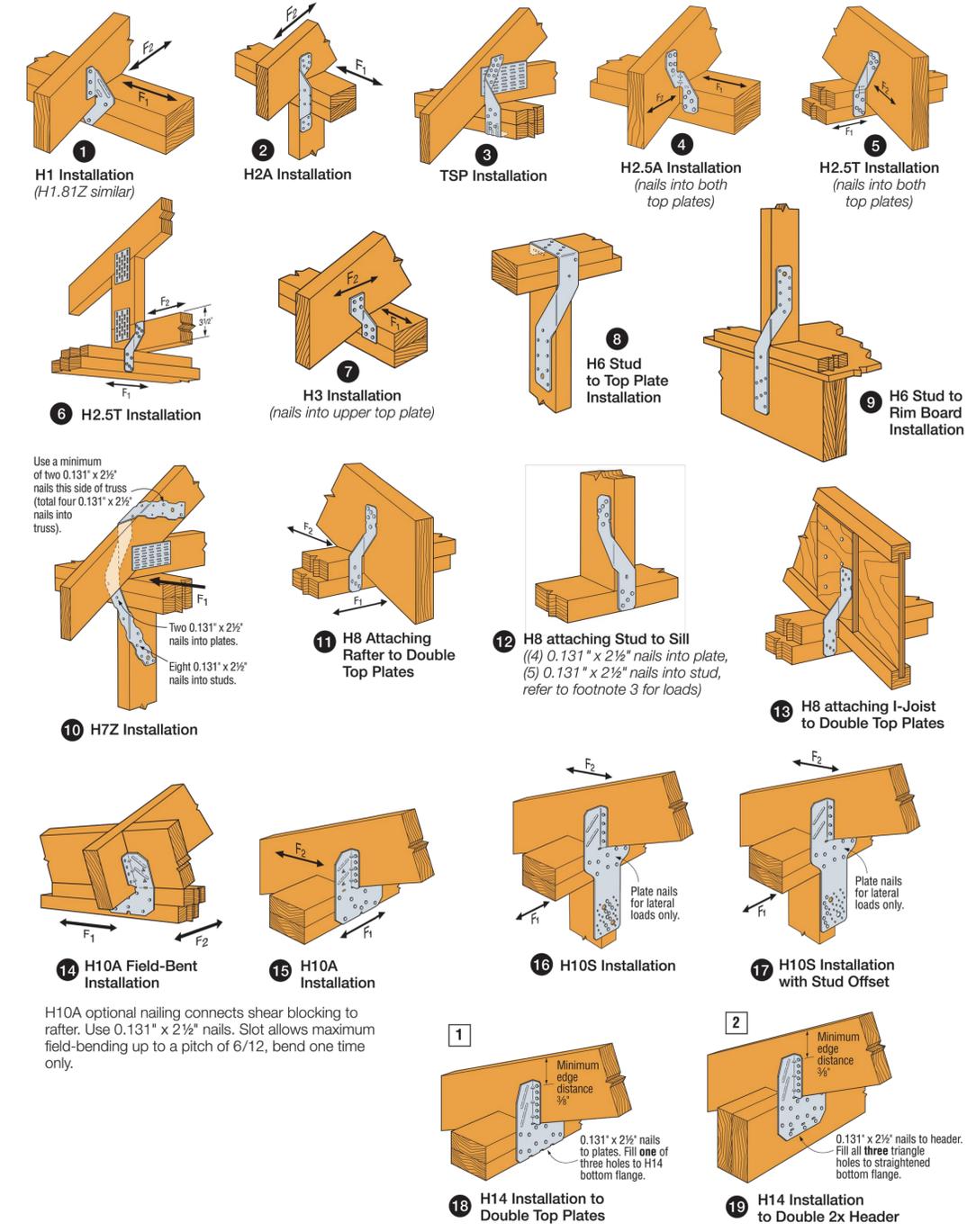
Straps and Ties

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# H/TSP

## Seismic and Hurricane Ties (cont.)



**PRODUCT SPECIFICATION NOTE:**  
 FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING SET, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.

**IMPORTANT NOTE:**  
 G.C. MUST INSTALL REINFORCEMENTS EQUIVALENT TO THOSE ILLUSTRATED ABOVE IN ALL JOINTS OF THE WOODEN ROOF BEAMS. THE CONTRACTOR MUST USE THE MOST APPROPRIATE TYPE OF TIE RECOMMENDED BY THE MANUFACTURER FOR EACH CONDITION. G.C. MUST SUBMIT PHOTOS OF WHAT IS INSTALLED WHEN SUBMITTING THE CERTIFICATION OF PAYMENT.



NATIONAL PARK SERVICE



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ADJUNTAS, PUERTO RICO

Architect of Record:  
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- Cristina Ballester
- Gilberto Mendoza
- Elvin E. Melendez
- Laurie S. Rivera

No.	Issue	Date

Drawn by: GM | EM | CB | LR  
 Reviewed by: VV

SHEET TITLE AND NUMBER:

**A-08**  
 WOOD CONECTORS

**ISSUE FOR BIDDING  
 NOT FOR CONSTRUCTION**

BY: V.M.V. DATE: JUNE 29, 2023

C-C-2021 © 2021 SIMPSON STRONG-TIE COMPANY INC.

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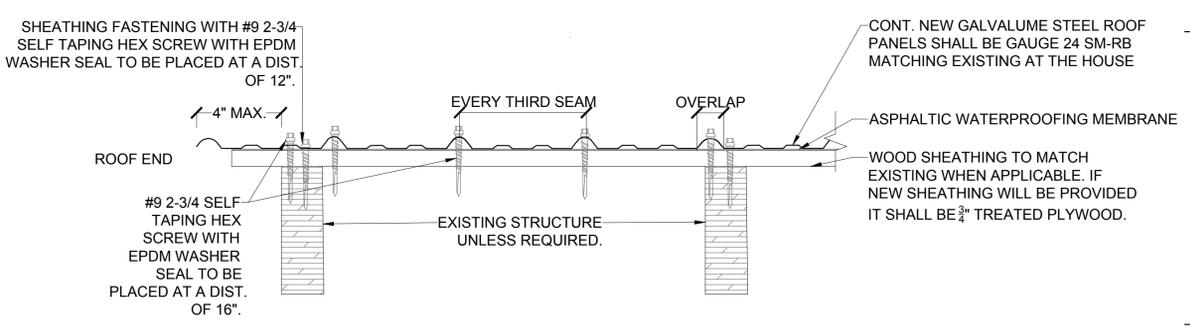
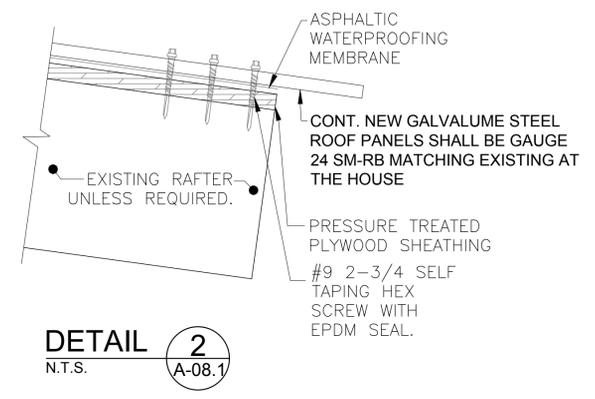
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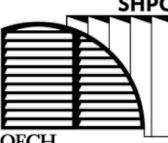


**NOTE:**  
G.C. SHALL FASTEN THE PLYWOOD PANELS TO THE RAFTERS USING S.S. NAILS PRIOR TO INSTALLING THE METAL ROOF.

**IMPORTANT NOTE:**  
G.C. SHALL BE RESPONSIBLE FOR USING THE SCREWS AS INSTRUCTED IN THE TYPICAL ROOFING PLAN.



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Laurie S. Rivera

No.	Issue	Date

Drawn by: GM | EM | CB | LR  
Reviewed by: VV

SHEET TITLE AND NUMBER:  
**A-08.1**  
ROOF SCREW REINF. DETAIL

**ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION**

BY: V.M.V. DATE: JUNE 29, 2023

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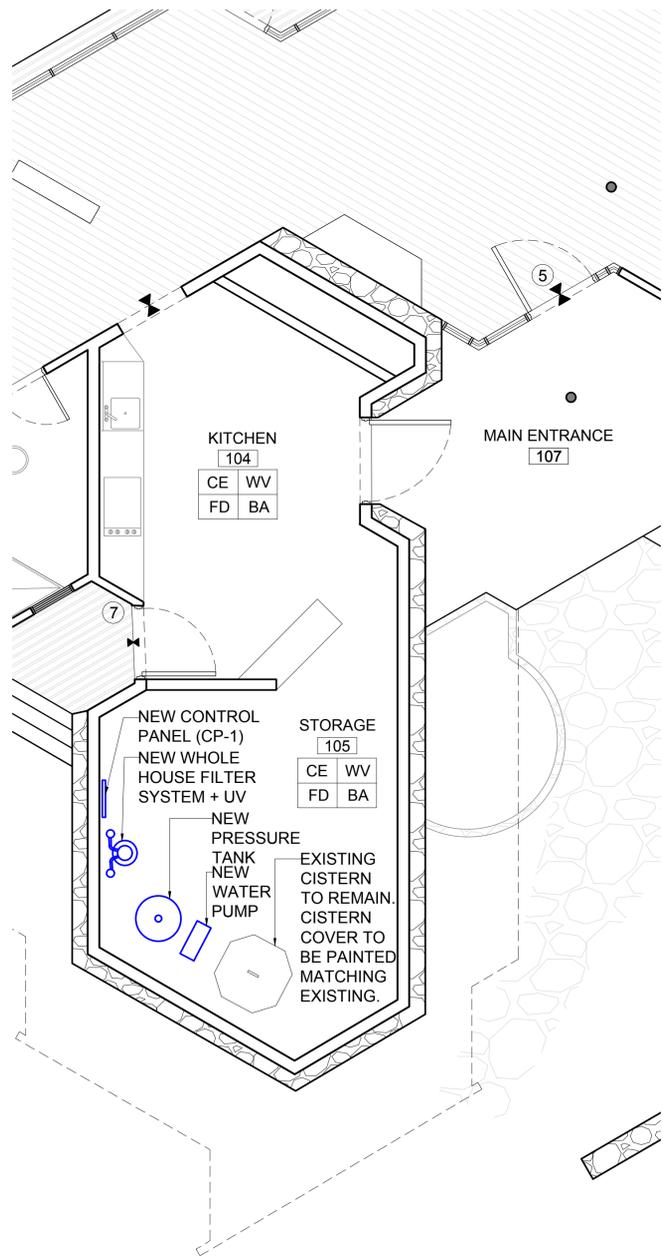
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**CISTERN LOCATION**  
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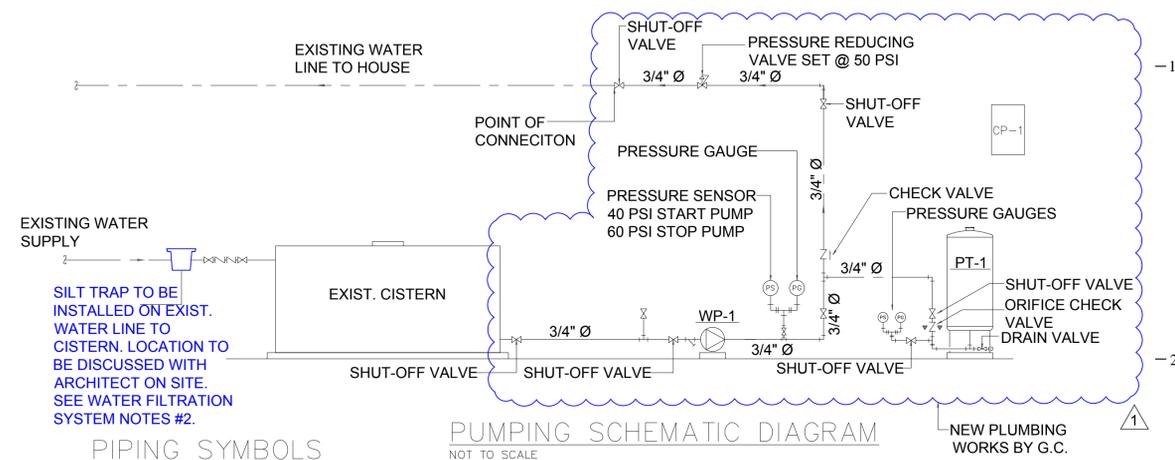
**PLUMBING NOTES**

1. THESE NOTES AS WELL AS THE LEGEND AND DETAILS APPLIES TO ALL PLUMBING WORK.
2. WATER PIPING BELOW GRADE TO BE TYPE "K" COPPER AND WATER PIPING ABOVE GRADE TO BE TYPE "L" HARD DRAWN COPPER. SIZE IS AS INDICATED DRAWINGS.
3. SOLDER USED IN ANY POTABLE OR DOMESTIC WATER SYSTEM MUST BE LEAD-FREE.
4. ALL WATER SUPPLY LINES ARE TO BE SEPARATED A MINIMUM OF 1'-0" FROM SANITARY LINES.
5. ALL WASTE, SANITARY AND STORM DRAINAGE LINES 4" IN DIAMETER AND LARGED SHALL BE PVC SDR 35 AND SCHEDULE 40 FOR 3" AND SMALLIER.
6. LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
7. FIXTURES, FITTINGS, ACCESSORIES, MATERIALS AND ALL PLUMBING PRODUCTS SHALL BE AS PER SPECIFICATIONS ON THESE DRAWINGS. EQUAL OR SIMILAR SHALL BE ONLY ACCEPTED IF PREVIOUSLY APPROVED BY THE ARCHITECT/ENGINEER.
8. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
9. THE PLUMBING WORK SHAUL BE IN ACCORDANCE WITH THE LATEST LOCAL BUILDING CODE, THE INTERNATIONAL PLUMBING CODE, THE HEALTH DEPARTMENT AND THE SPECIFICATIONS ISSUED FOR THE PROJECT.
10. SIZES SHOWN IN FIXTURE SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODE REQUIREMENTS OR AS SHOWN ON DRAWINGS.
11. BEFORE STARTING CONSTRUCTION, THE PLUMBING CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATIONS OF EXISTING PIPE LINES TO REMAIN IN USE. ANY SIGNIFICANT DISCREPANCY WITH THE INFORMATION SHOWN ON THESE DRAWINGS SHALL BE NOTIFIED TO THE ARCHITECT/ENGINEER FOR REVISION.
12. PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY SERVICES AND/OR CONNECTIONS REQUIRED FOR THE PLUMBING FIXTURES AND EQUIPMENT SHOWN ON PLANS AND FIXTURES SCHEDULE.
13. PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGHING-IN AND INSTALL THE PLUMBING FIXTURES AS INDICATED ON THESE DRAWINGS.
14. THE PROPOSED WATER DISTRIBUTION SYSTEM MUST BE TESTED TO A HYDROSTATIC PRESSURE OF 125 PSI AND PROVED TIGHT AT THIS PRESSURE FOR FOUR CONSECUTIVE HOURS BEFORE PIPES ARE CONCEALED AND PRIOR TO ANY FIXTURE INSTALATION.
15. OTHER QUALIFIED MANUFACTURERS' PRODUCTS CAN BE SUBMITTED FOR APPROVAL TO THE ARCHITECT OR ENGINEER ALONG WITH A COMPARATIVE TABLE SHOWING CHARACTERISTICS OF THE SPECIFIED AND PROPOSED PRODUCT.
16. G.C. SHALL REMOVE ALL WATER FROM CISTERN, CLEAN EMPTY TANK WITH PRESSURE WATER. AFTER CLEANING WITH PRESSURED WATER, APPLY CLOROX & ENSURE NO MOLD TO REMAIN. PRIOR TO REFILLING WITH WATER, G.C. SHALL INSPECT TANK FOR CONCRETE FISSURED THAT COULD LEAD TO WATER FILTRATIONS. IF RELEVANT FISSURES ARE FOUND, G.C. SHALL REPAIR PRIOR TO REFILLING TANK WITH POTABLE WATER.
17. G.C. SHALL SUBMIT DRAWINGS SHOWING NEW EQUIPMENT LOCATIONS AND INSTALLATION DETAILS FOR ARCHITECT REVIEW PRIOR TO COMMENCING THE WORK.
18. G.C. SHALL BE RESPONSIBLE FOR ELECTRIFYING THE WATER PUMP.

**WATER FILTRATION SYSTEM**

CONTRACTOR SHALL FURNISH & INSTALL THE FOLLOWING EQUIPMENT (OR EQUIVALENT): (LOCATION OF EQUIPMENT TO BE DISCUSSED WITH ARCHITECT ON SITE.)

1. PENTAIR WATER SOLUTIONS WHOLE HOUSE WATER FILTER SYSTEM + UV; PC1000-PUV-14-P, OR EQUIVALENT. A LICENSED PLUMBING CONTRACTOR SHALL INSTALL THIS EQUIPMENT AS PER MANUF. SPECIFICATIONS.
2. PT600 CLASS D / 28"x28" MDPE SILT TRAP / FOX MDPE SILT BASKET / (2) 4" PIPE OUTLETS & CLASS D HEAVY DUTY GALV. GRATE BY FOX ENVIRONMENTAL SYSTEMS, OR EQUIVALENT.



**PIPING SYMBOLS**

- DIRECTION OF FLOW
- ⊗ GATE VALVE

**PIPING TYPES**

- COLD WATER PIPE

**PUMPING SCHEMATIC DIAGRAM**  
NOT TO SCALE

**CISTERN & PUMP NOTES**

1. CONTRACTOR SHALL FURNISH & INSTALL THE FOLLOWING EQUIPMENT (OR EQUAL). (EQUIPMENT BY: UNIVERSAL EQUIPMENT SALES & SERVICE CORP.)
  - PT-1. PRESSURE TANK -AMERICAN WATER HEATER EXPORT PUMP TANKS - MODEL ADX-86, 86 GAL. CAP. PRESSURIZED TANK.
  - WP-1. WATER PUMP -WAYNE MODEL: SW100, 1HP / SHALLOW WELL JET PUMP / CORROSION RESISTANT ALL CAST IRON MOTOR HOUSING.
  - CP-1. SIMPLEX DOMESTIC CONTROL PANEL FOR 1 H.P. PUMPS, NEMA 4 ENCLOSURE, 1/60/240 VOLTS INCLUDING 120 VOLTS CONTROL AND MAGNETIC STARTERS WITH-OVERLOAD PROTECTION, H-O-A SELECTOR SWITCHES, PILOT & RUNNING LIGHTS, I AUTO ALTERNATION, HIGH LEVEL ALARM AND LOW WATER CUTOFF WITH LIGHT AND HORN. AT 1st LEVEL GARAGE CLOSET.
2. 3/4" CHECK VALVE  
1 FLOMATIC 2" "Y" STRAINER WITH SS PERF. SCREEN  
2 3/4"DIA. RUBBER FLEXIBLE CONNECTION SCREW TYPE
3. CONTRACTOR SHALL PROVIDE ALL NECESSARY ISOLATION VALVES, PRESSURE INDICATORS, PRESSURE REGULATORS, FLOAT VALVES, CHECK VALVES, LEVEL AND PRESSURE SENSORS AS REQUIRED FOR THE PROPER OPERATION OF THE SYSTEM.

PIPING SPECIFICATIONS:		P.V.C. TYPE SDR-35 A.S.T.M. 3034	P.V.C. D.W.V. SCH. 40 A.S.T.M.-D-2665	COPPER PIPE TYPE "K" A.S.T.M.-B-88 - 60o	GALVANIZED PIPE SCH. 40 A.S.T.M. -A- 120	COPPER PIPE TYPE "L" A.S.T.M. -B- 88-51
SERVICE	LOCATION					
WATER	ABOVE GROUND					●
	THRU CONCRETE SLAB					●

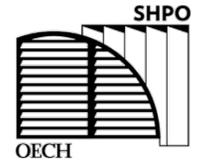
**EQUIPMENT NOTE**  
G.C. SHALL REMOVE AND DISPOSE OF ALL EXISTING EQUIPMENT THAT IS TO BE REPLACED WITH NEW.

**ALTERNATE E**  
G.C. SHALL RESTORE EXISTING CISTERN AND REPLACE FRESHWATER SYSTEM ACCORDING TO SPECIFICATIONS ON SHEET P-01. WORKS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CLEANING AND PAINTING PUMP ROOM, AS WELL AS CLEANING THE CISTERN.

**NOTE:**  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION TO BE VERIFIED ON SITE.



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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción Certificada, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la Ley para la Inversión por la Industria Puertorriqueña y con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 98 de 6 de julio de 1978, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la Corte.

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1	NEW SHEET	06/29/23

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