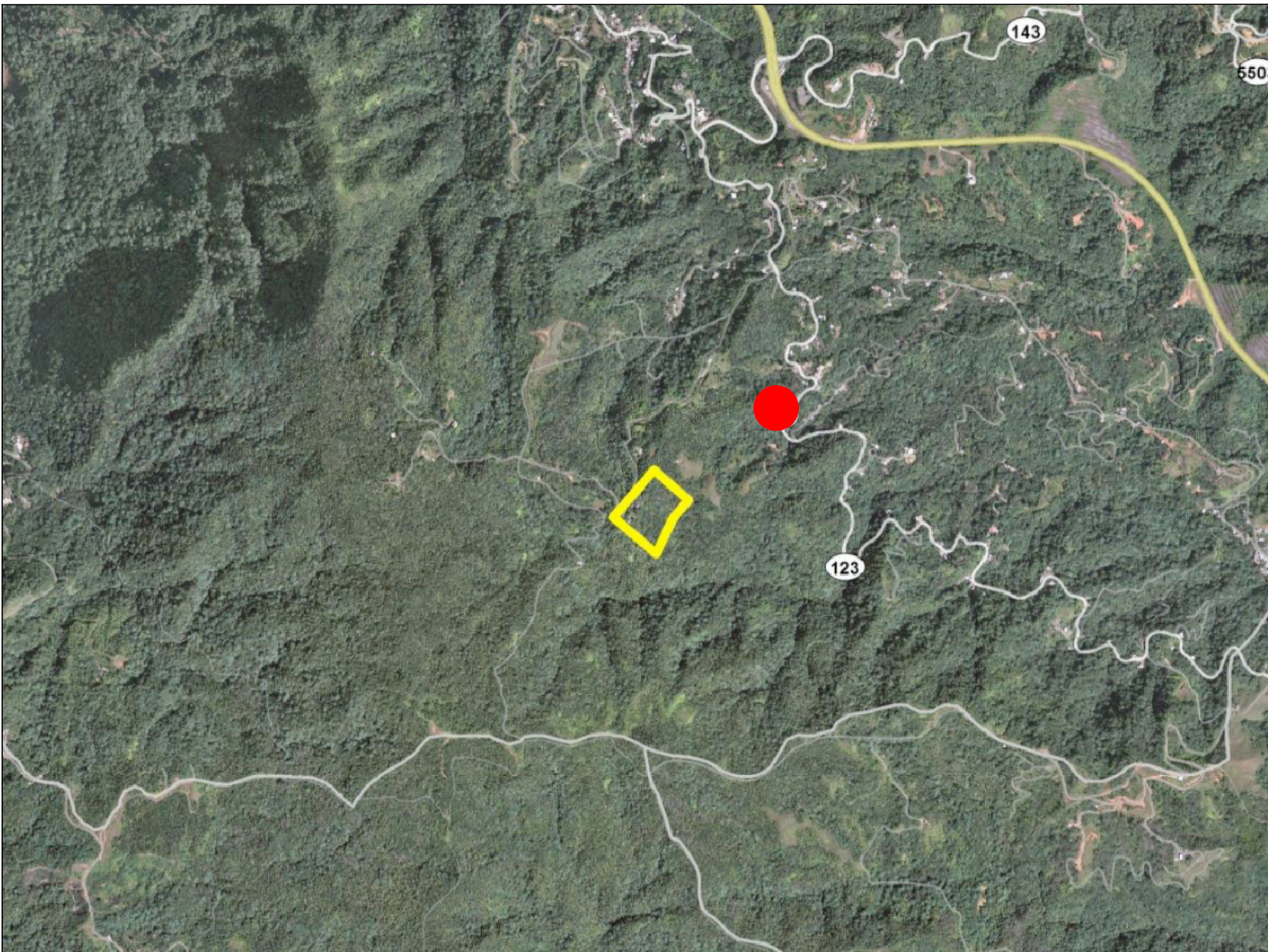


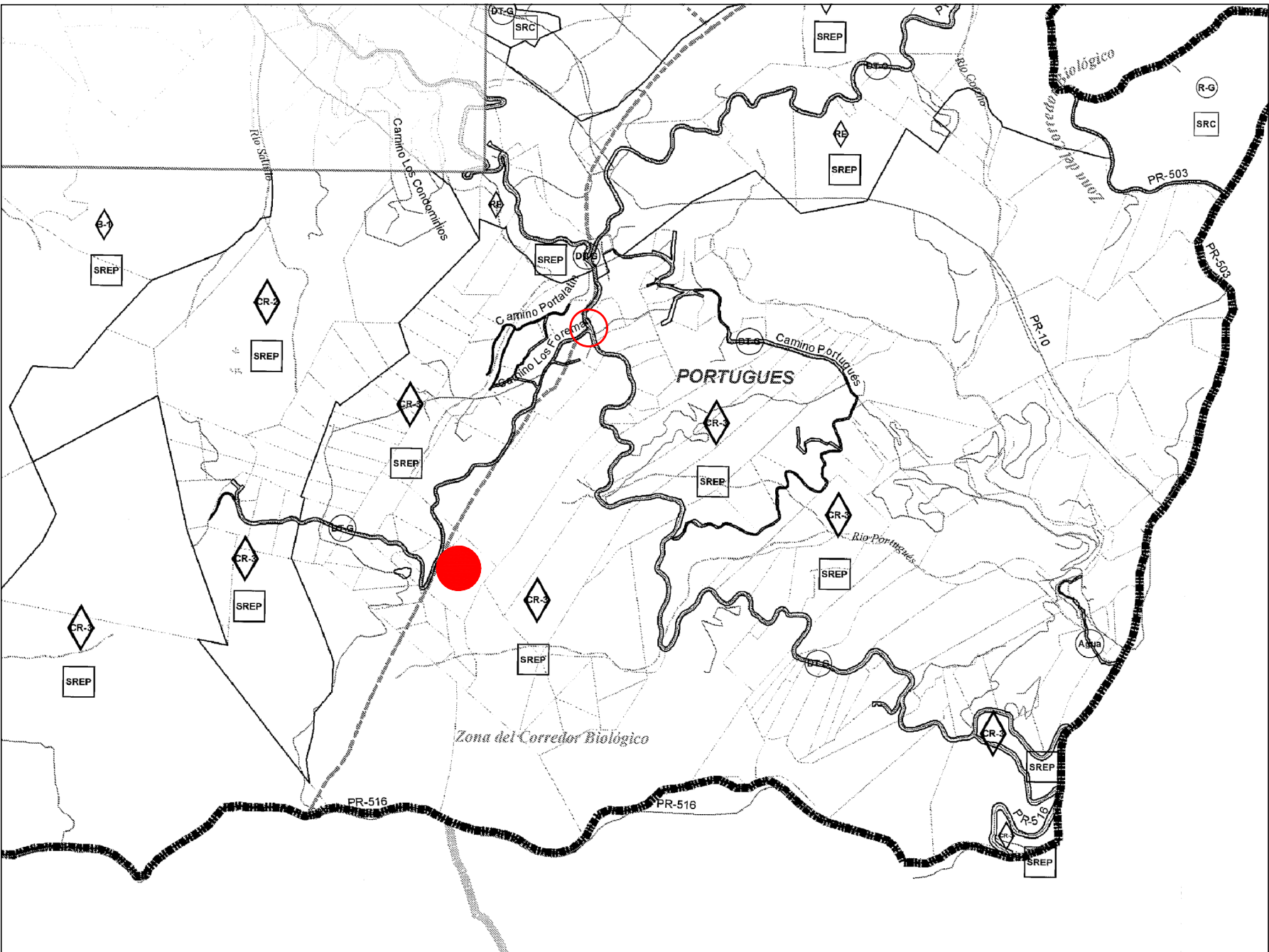
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Issue	Date
ISSUE FOR REV.	12-6-2022
ISSUE FOR BID.	02-17-2023
ISSUE FOR BID.	04-14-2023
ISSUE FOR BID.	06-29-2023



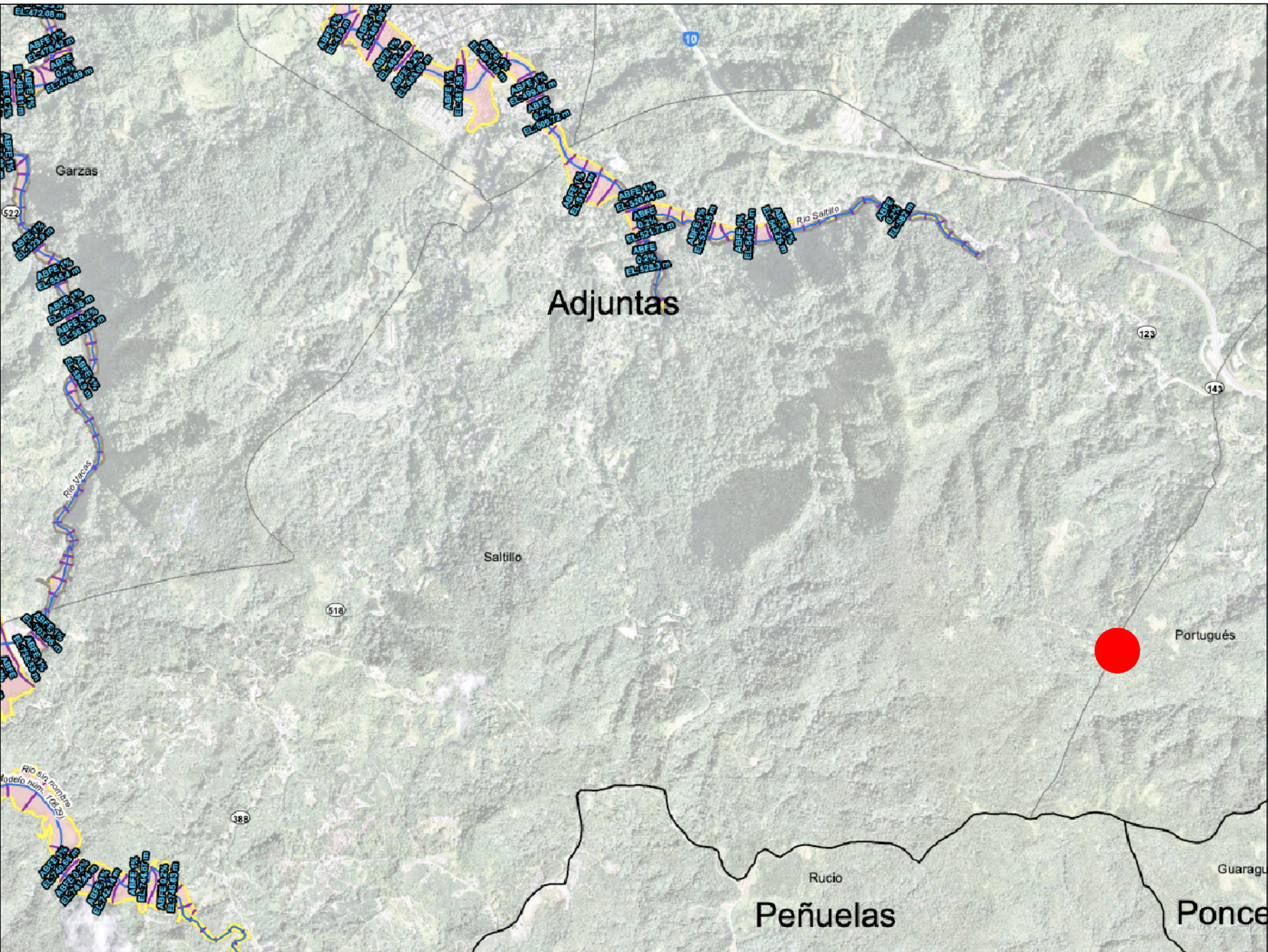
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IMAGE TAKEN ON SITE VISIT



LOCATION MAP



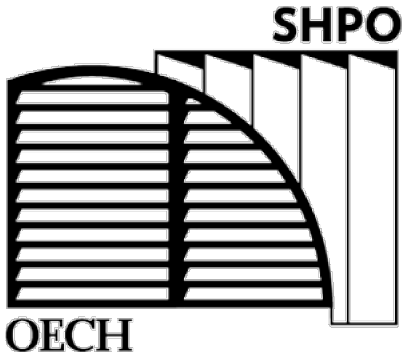
MAPA DE CLAFICACIÓN DE SUELOS  
HOJA 12 - 10 DE MAYO DEL 2011



FLOOD MAP  
PANEL 1090H MAP 72000C1090H - MAY 25, 2018



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FOREMAN HOUSE  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A.  
Registration No. 11445 PR.



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Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

T-01

TITLE SHEET

ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION  
BY: V.M.V. DATE: JUNE 29, 2023





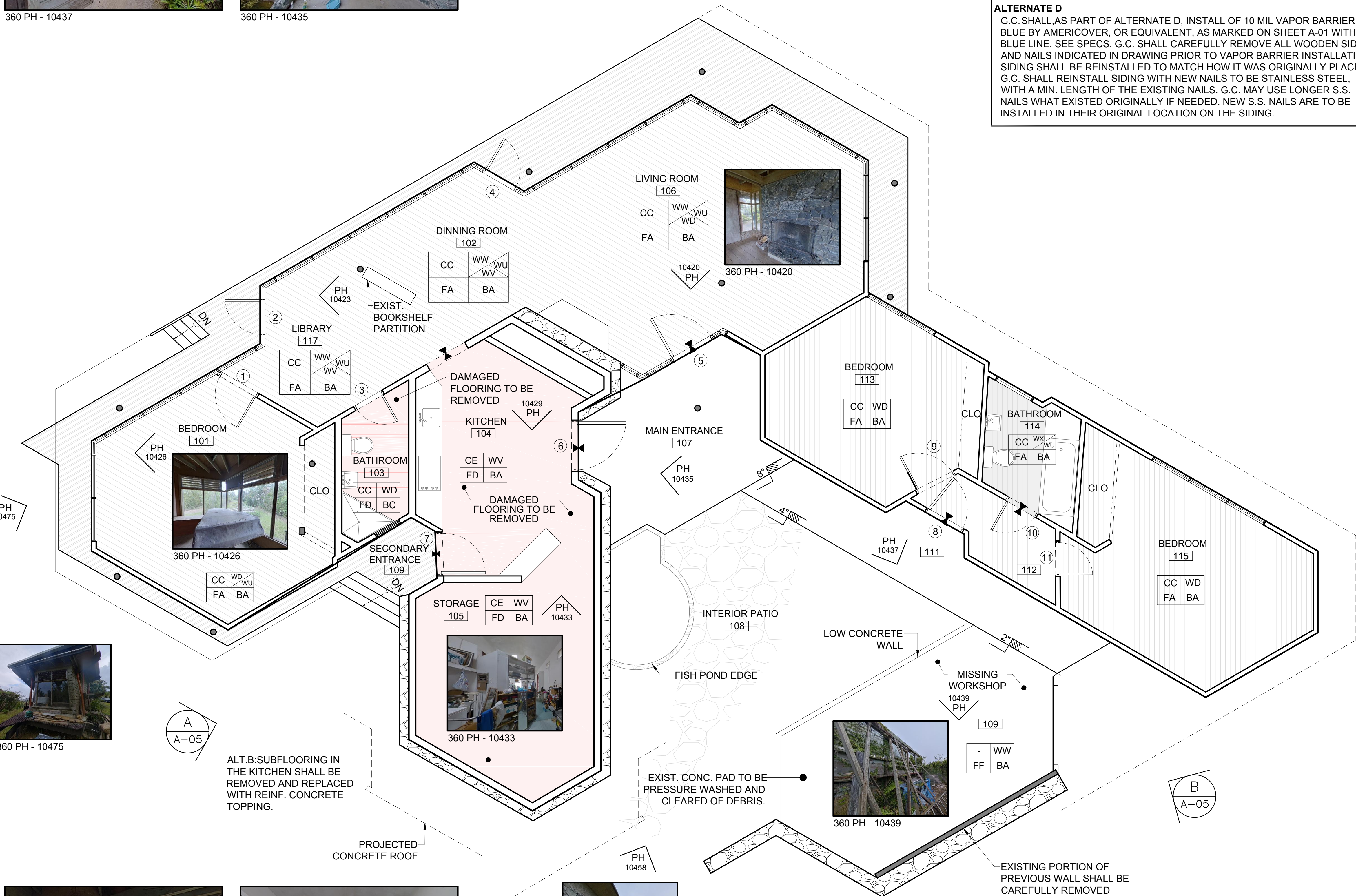




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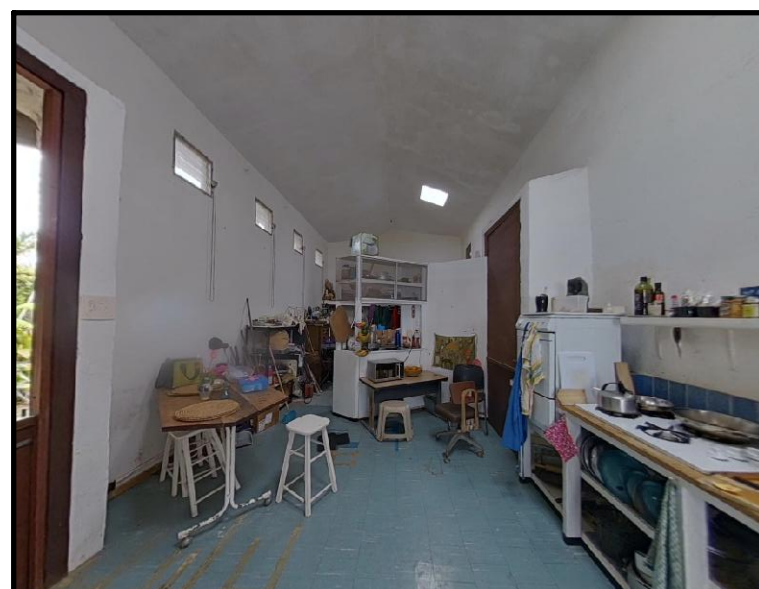
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360 PH - 10475



360 PH - 10423



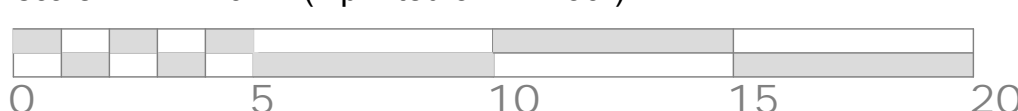
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360 PH - 10458

## EXISTING FLOOR PLAN

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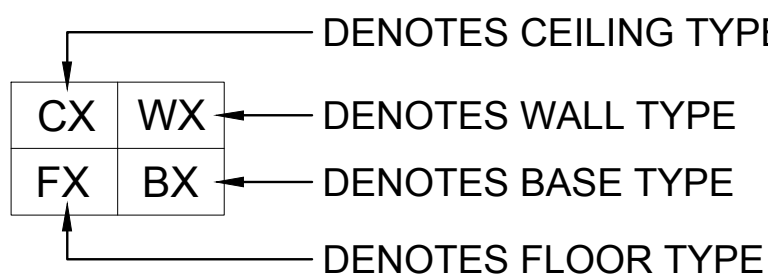


NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.

### IMPORTANT NOTE:

IF THIS DRAWING IS ON ITS ORIGINAL PDF  
FORMAT, TAP OR PRESS LEFT CLICK THE  
IMAGES ON THE DRAWING TO EXPAND IMAGE TO  
SEE THE IMAGE ON 360 VIEW OR A VIDEO  
FORMAT.

## LEGEND:



### CEILING TYPE

- CA - WOOD BEADED PANEL
- CB - TONGUE AND GROOVE WOOD PLANKS
- CC - EXPOSED WOOD STRUCTURE
- CD - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
- CE - CONCRETE
- CF - WOOD BEADED PLANKS
- CG - WOOD PLANKS
- CH - ACOUSTIC CEILING TILES
- CI - WOOD PLAYWOOD PANEL

### WALL TYPE

- WA - EXPOSED WOOD STUDS AND HORIZ. WOOD PLANKS
- WB - VERTICAL WOOD PLANKS
- WC - TONGUE AND GROOVE WOOD PLANKS
- WD - PLYWOOD PANELS
- WE - VERTICAL WOOD BEADED PANELS
- WF - WOOD STRUCTURE COVERED BY LOW CONCRETE WALLS FINISHED WITH TILES
- WG - WOOD DROP SIDING
- WH - VERTICAL WOOD BEADED PLANKS
- WI - EXPOSED WOOD STUDS AND VERTICAL BEADED WOOD PLANKS
- WJ - CLAYBRICK WALL WITH PLASTER FINISH
- WK - CLAY BRICK WALL WITH PLASTER FINISH COVERED WITH CERAMIC TILES.
- WL - EXPOSED CONCRETE BLOCKS
- WM - CONCRETE BLOCKS WITH PLASTER FINISH
- WN - EXPOSED WOOD STUDS AND HORIZONTAL WOOD PLANKS
- WO - CONCRETE BLOCKS WITH PLASTER FINISH AND CERAMIC TILES.
- WR - EXPOSED CORRUGATED METAL AND WOOD STRUCTURE
- WS - GALVANIZED METAL SHEETS
- WT - HORIZONTAL WOOD PLANKS
- WU - WOOD FRAMED GLASS WINDOW WALL
- WV - CONCRETE WALL
- WW - CONCRETE WALL WITH STONE FINISH
- WX - PLYWOOD PANELS FINISHED WITH CERAMIC TILES

### FLOOR TYPE

- FA - WOOD PLANKS
- FB - PLYWOOD PANELS
- FC - CERAMIC TILE
- FD - VINYL TILE
- FE - VINYL ROLL
- FF - EXPOSED CONCRETE
- FG - TONGUE AND GROOVE WOOD PLANKS
- FH - NATIVE TILES
- FI - CARPET
- FJ - EXPOSED WOOD STRUCTURE
- FK - CLAY BRICKS

### WALL BASE TYPE

- BA - NO WALL BASE
- BB - WOOD BASE
- BC - VINYL WALL BASE

DENOTES CHANGE OF FLOOR PATTERN

DENOTES DOOR TYPE

DENOTES WINDOW TYPE

CHANGE IN LEVEL

DENOTES ELEVATION

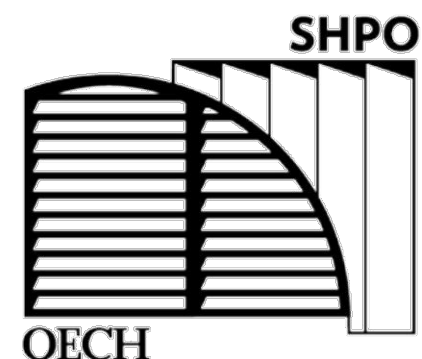
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DENOTES DETAIL NUMBER

REFERS TO 360 IMAGE ON SHEET



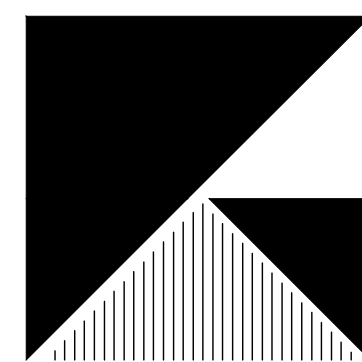
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Architect of Record:  
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Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date

Drawn by

Reviewed by

GM | EM | CB | LR

VV

SHEET TITLE AND NUMBER:

EX - 01

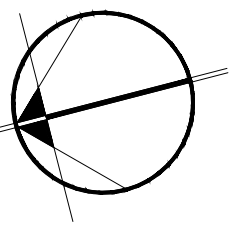
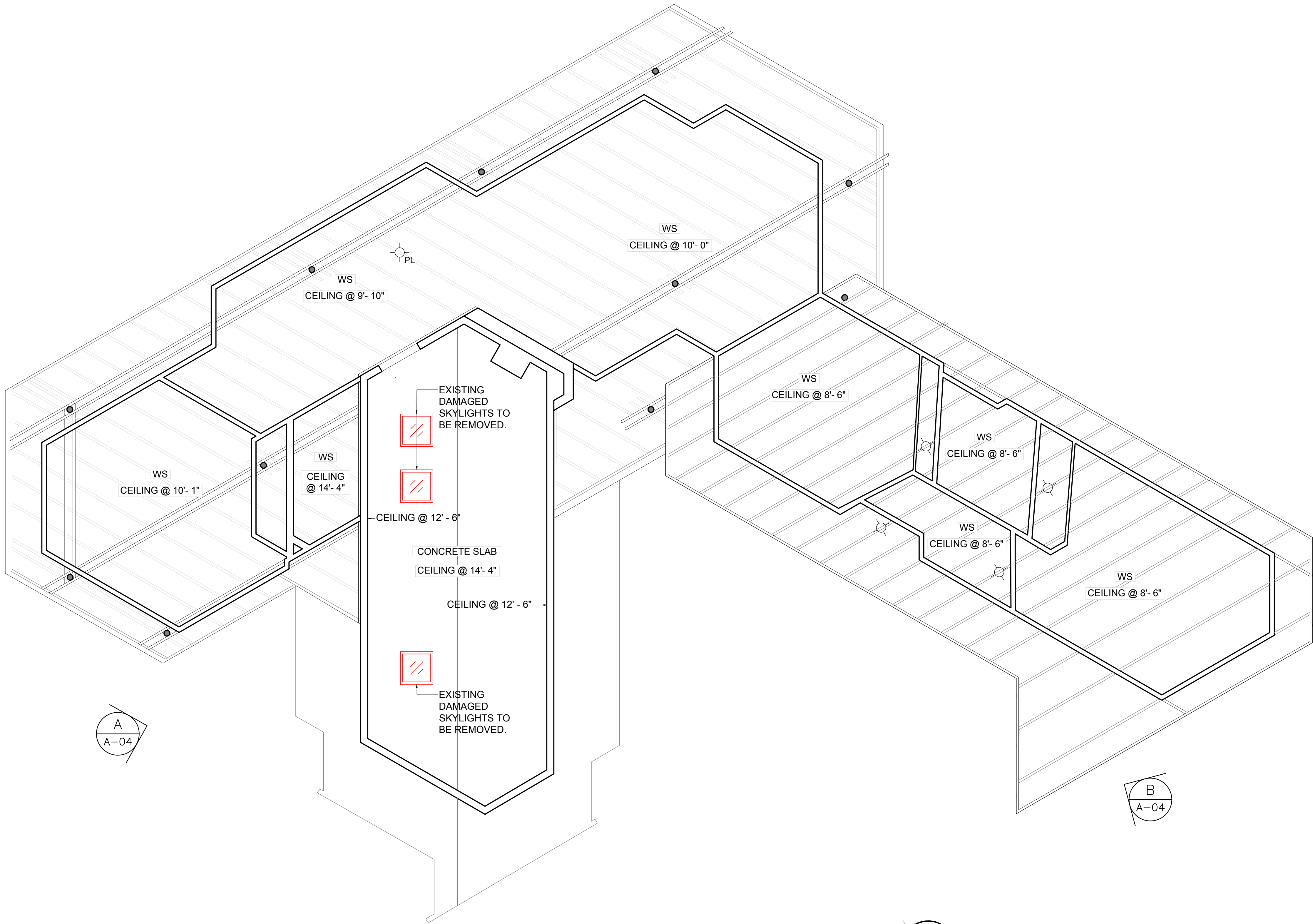
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ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION

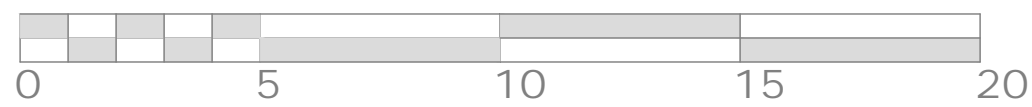
BY: V.M.V. DATE: JUNE 29, 2023



NOTE:  
ELEMENTS SHOWN IN RED SHALL  
BE REMOVED. SEE SPECS.



EXISTING REFLECTED CEILING  
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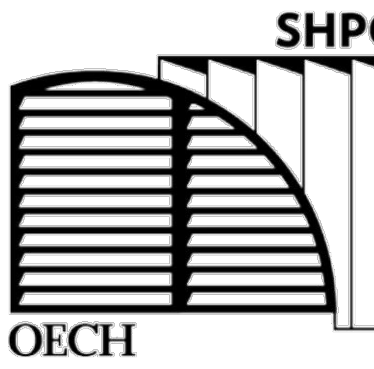
NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.

LEGEND:

- DENOTES ELEVATION
- DENOTES BUILDING SECTION
- DENOTES DETAIL NUMBER
- LIGHT OUTPUT, LIGHT BULB
- PENDANT LIGHT



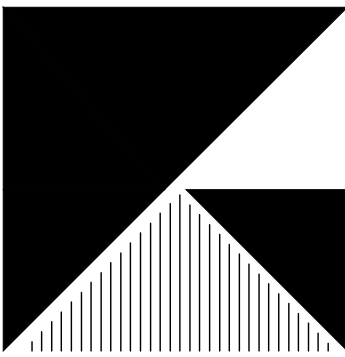
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Laurie S. Rivera

No.	Issue	Date
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△		

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GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

EX - 02

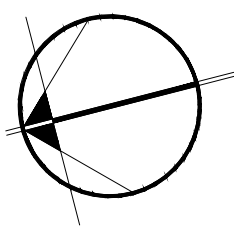
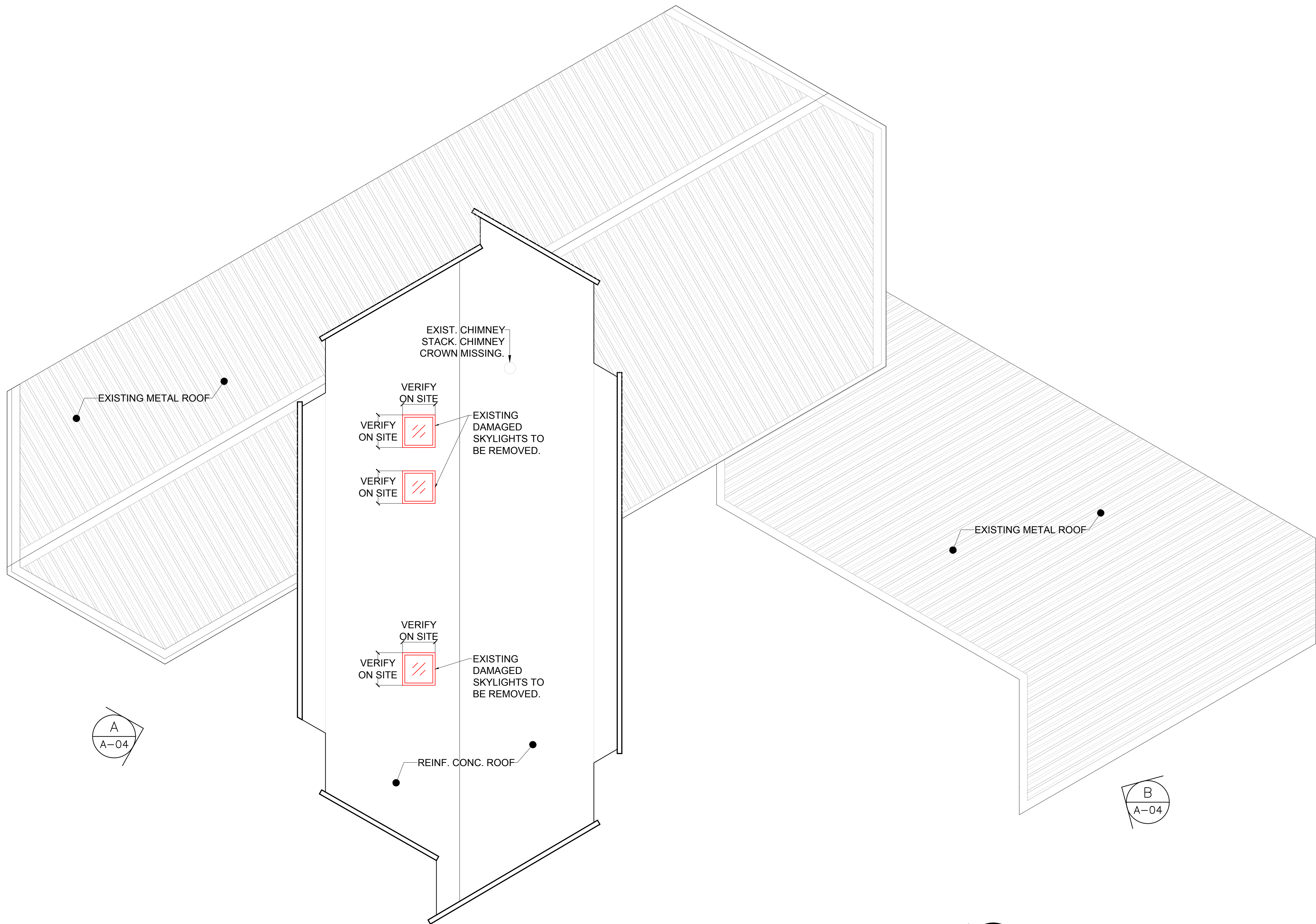
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ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION

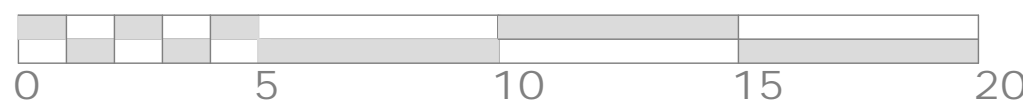
BY: V.M.V. DATE: JUNE 29, 2023



NOTE:  
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EXISTING ROOF PLAN  
scale: 1/4"=1'-0" (if printed on 24"x36")



NOTE:  
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EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.

LEGEND:



DENOTES ELEVATION



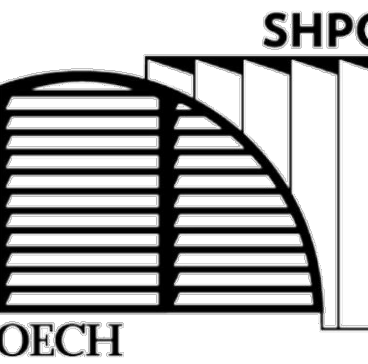
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DENOTES DETAIL NUMBER



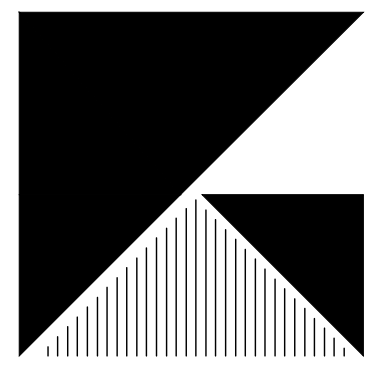
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No.	Issue	Date
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SHEET TITLE AND NUMBER:

EX - 03

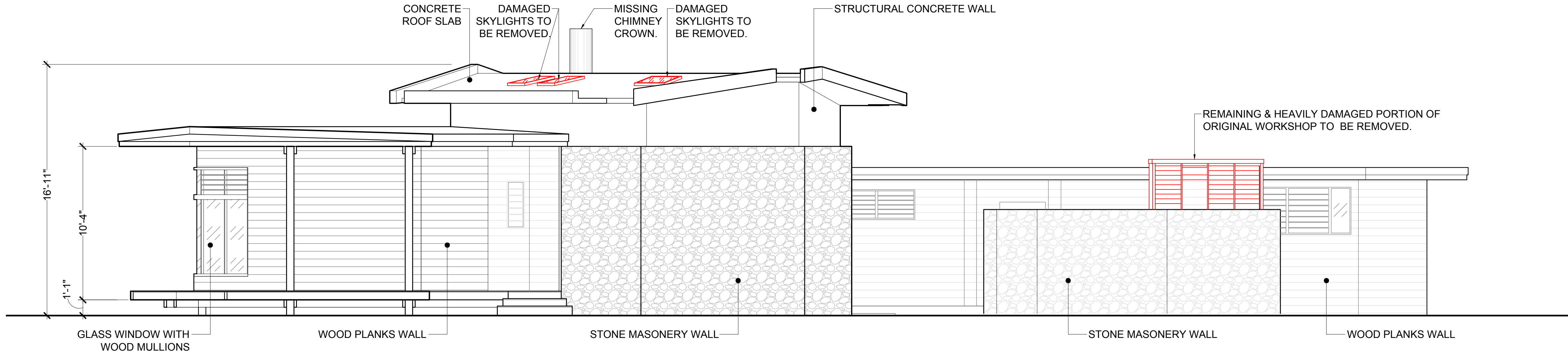
EXISTING ROOF PLAN

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NOTE:  
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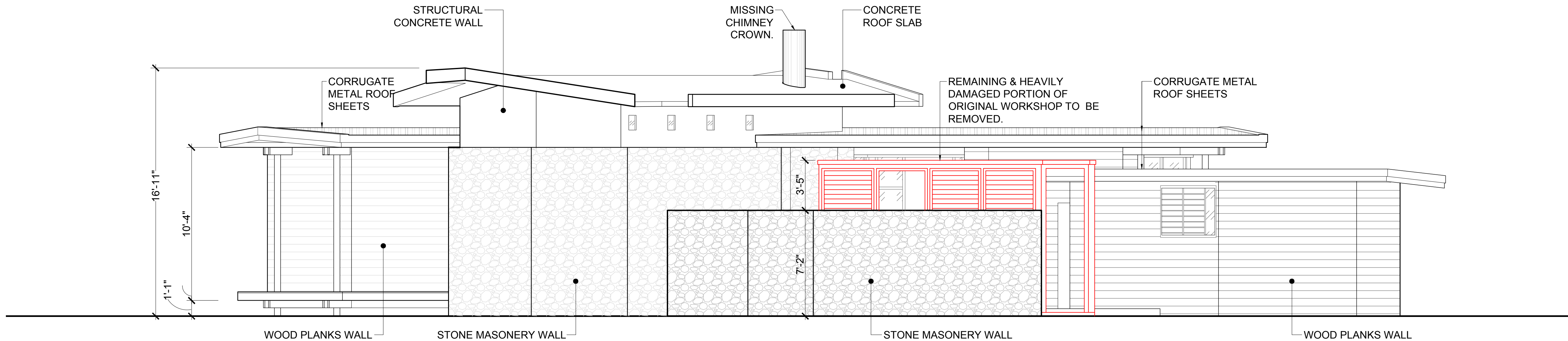


EXISTING ELEVATION

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EX-04

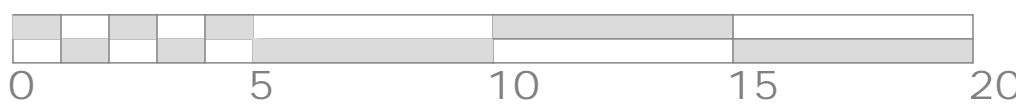


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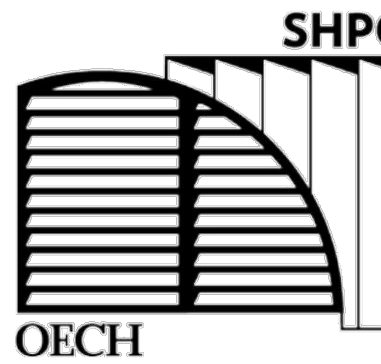
EX-04



NOTE:  
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EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.



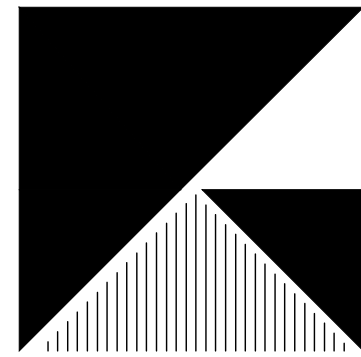
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No.	Issue	Date
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GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

EX - 04

EXISTING ELEVATIONS

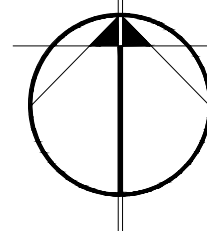
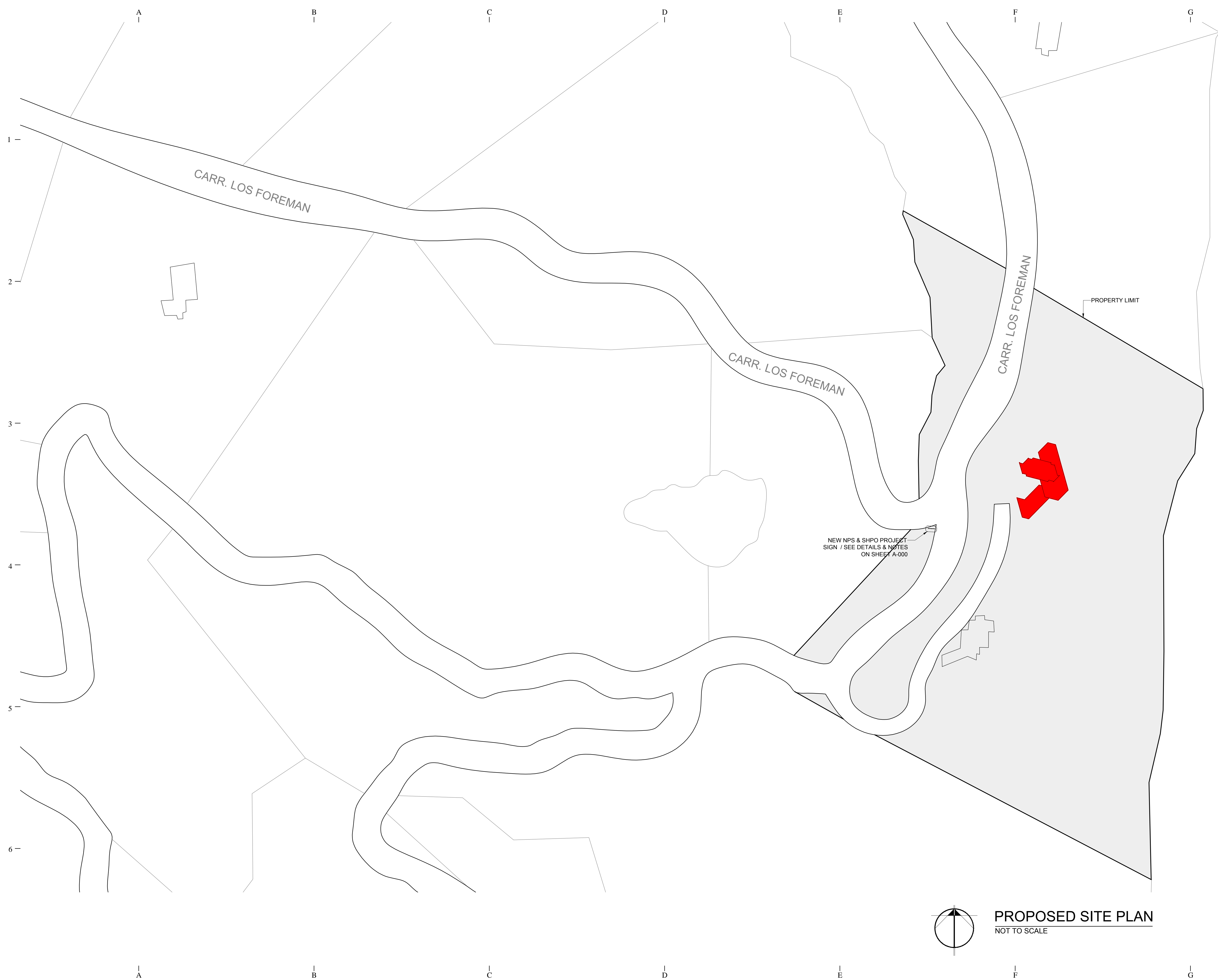
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PROPOSED SITE PLAN  
NOT TO SCALE



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GM | EM | CB | LR

Reviewed by

VV

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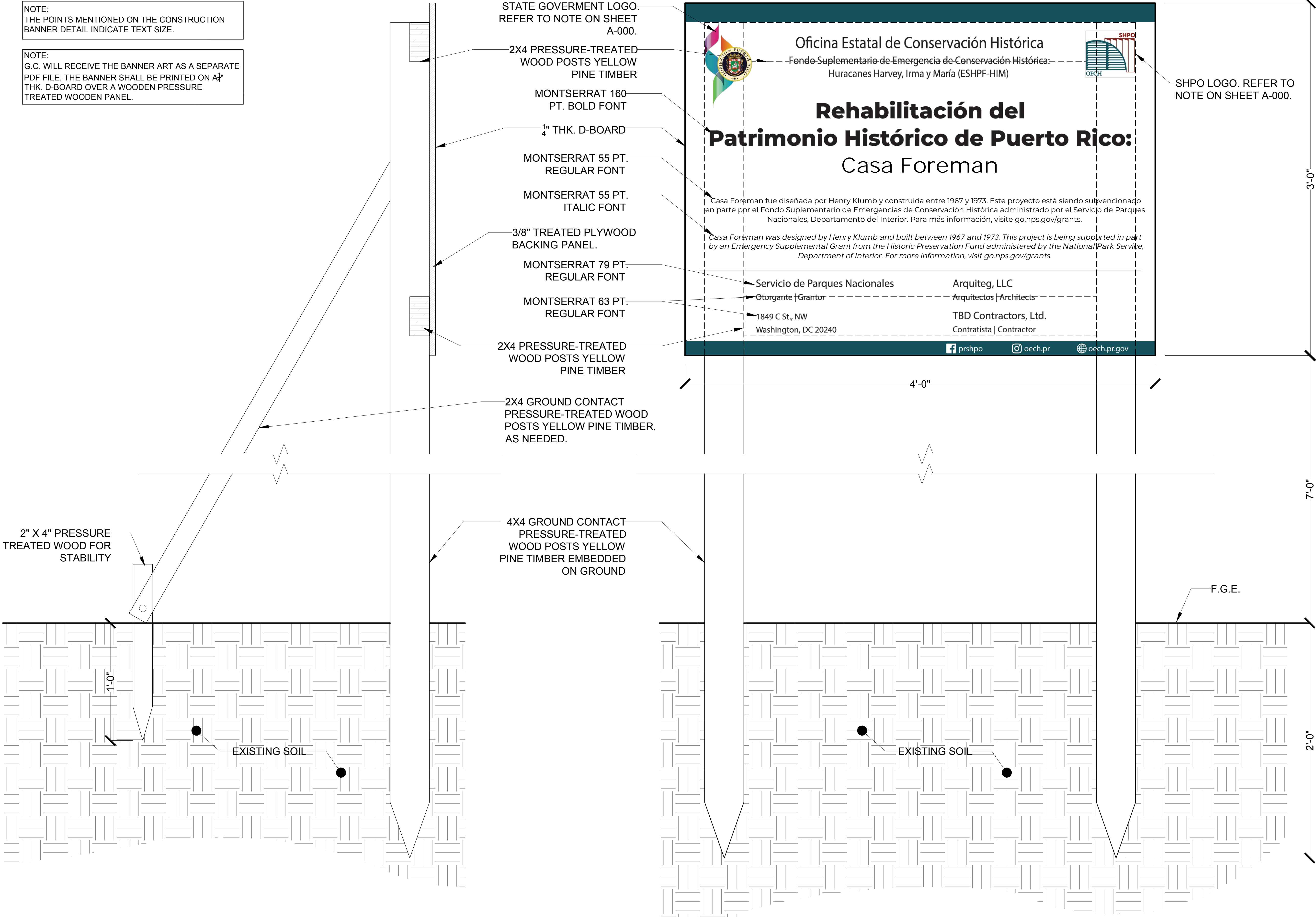
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SITE PLAN

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CONSTRUCTION BANNER SECTION  
scale: N.T.S. (if printed on 24"x36")

CONSTRUCTION BANNER ELEVATION  
scale: N.T.S. (if printed on 24"x36")



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PROFESSIONAL TEAM:

Victor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

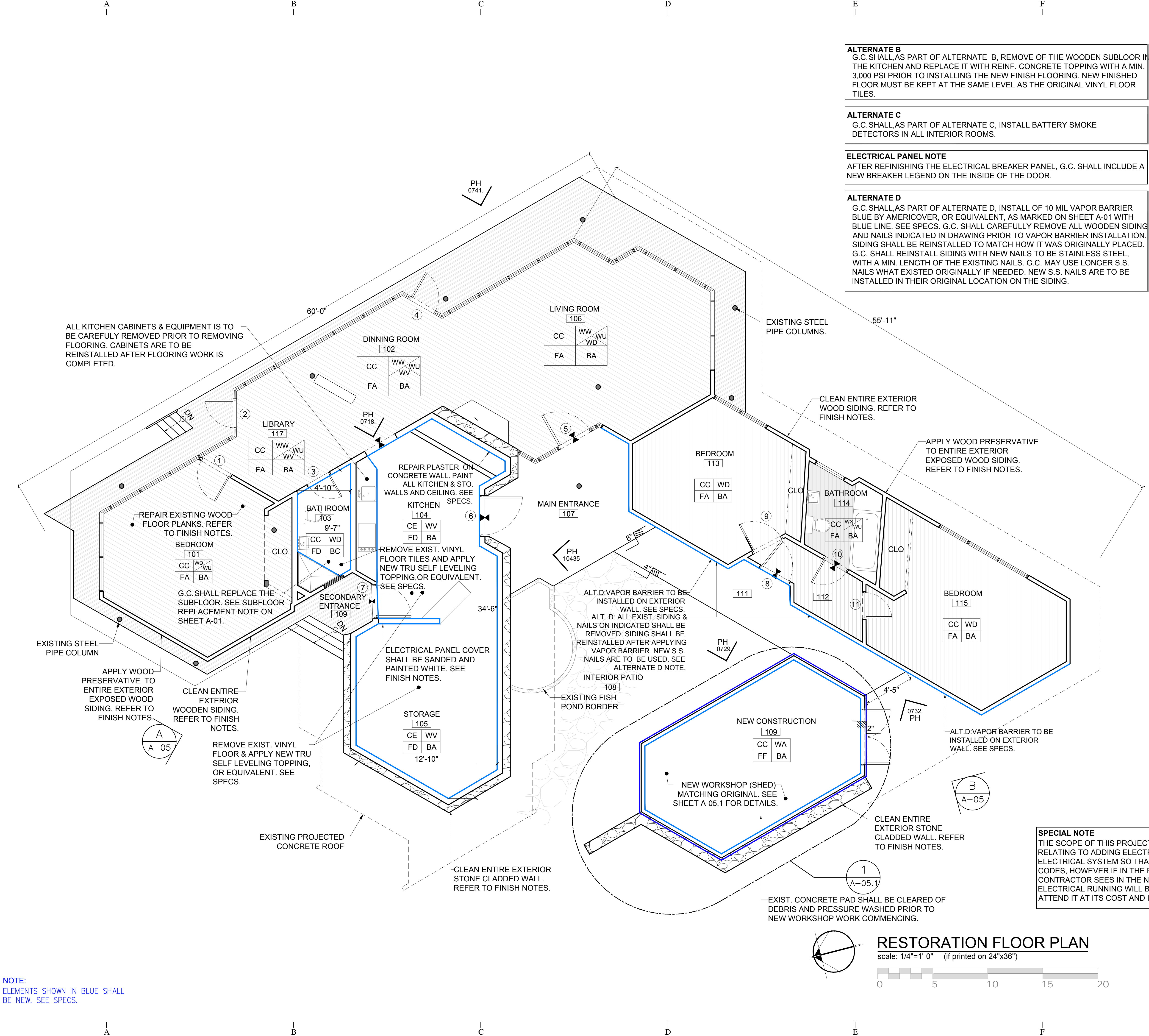
A-000

CONSTRUCTION BANNER DETAIL

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BY: V.M.V. DATE: JUNE 29, 2023





NOTE:  
ELEMENTS SHOWN IN BLUE SHALL  
BE NEW. SEE SPECS.

**ALTERNATE B**  
G.C. SHALL, AS PART OF ALTERNATE B, REMOVE OF THE WOODEN SUBFLOOR IN THE KITCHEN AND REPLACE IT WITH REINF. CONCRETE TOPPING WITH A MIN. 3,000 PSI PRIOR TO INSTALLING THE NEW FINISH FLOORING. NEW FINISHED FLOOR MUST BE KEPT AT THE SAME LEVEL AS THE ORIGINAL VINYL FLOOR TILES.

**ALTERNATE C**  
G.C. SHALL, AS PART OF ALTERNATE C, INSTALL BATTERY SMOKE DETECTORS IN ALL INTERIOR ROOMS.

**ELECTRICAL PANEL NOTE**  
AFTER REFINISHING THE ELECTRICAL BREAKER PANEL, G.C. SHALL INCLUDE A NEW BREAKER LEGEND ON THE INSIDE OF THE DOOR.

**ALTERNATE D**  
G.C. SHALL, AS PART OF ALTERNATE D, INSTALL OF 10 MIL VAPOR BARRIER BLUE BY AMERICOVER, OR EQUIVALENT, AS MARKED ON SHEET A-01 WITH BLUE LINE. SEE SPECS. G.C. SHALL CAREFULLY REMOVE ALL WOODEN SIDING AND NAILS INDICATED IN DRAWING PRIOR TO VAPOR BARRIER INSTALLATION. SIDING SHALL BE REINSTALLED TO MATCH HOW IT WAS ORIGINALLY PLACED. G.C. SHALL REINSTALL SIDING WITH NEW NAILS TO BE STAINLESS STEEL, WITH A MIN. LENGTH OF THE EXISTING NAILS. G.C. MAY USE LONGER S.S. NAILS WHAT EXISTED ORIGINALLY IF NEEDED. NEW S.S. NAILS ARE TO BE INSTALLED IN THEIR ORIGINAL LOCATION ON THE SIDING.

**LEGEND:**

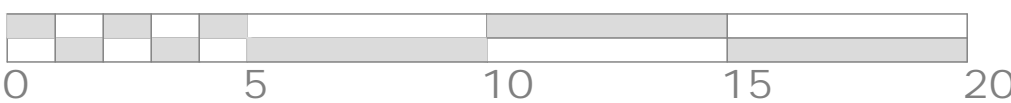
- ⌵ DENOTES CHANGE OF FLOOR PATTERN
- ## DENOTES DOOR TYPE
- X DENOTES WINDOW TYPE
- 3/4" DENOTES ELEVATION
- X A-XX DENOTES BUILDING SECTION
- X A-XX DENOTES DETAIL NUMBER
- PH XXXX REFERS TO PHOTO ON RESTORATION PHOTOS SHEET

**SUBFLOOR REPLACEMENT NOTE:**  
THE REPLACEMENT SUBFLOOR SHALL MATCH "IN-KIND" TO ALL CHARACTERISTICS OF THE EXIST. SUBFLOORING, EXCEPT FOR HEIGHT. IT IS IMPORTANT THAT THE SUBFLOOR HEIGHT BE MODIFIED TO ENSURE THE NEW FLOOR FINISH MATCH THE SAME LEVEL AS THE ORIGINAL VINYL TILES.

NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS TO BE VERIFIED ON SITE.

**SPECIAL NOTE**  
THE SCOPE OF THIS PROJECT DOES NOT INCLUDE DOING SPECIFIC WORK RELATING TO ADDING ELECTRICAL DEVICES AND/OR UPDATING THE ELECTRICAL SYSTEM SO THAT THEY ARE IN COMPLIANCE WITH CURRENT CODES, HOWEVER IF IN THE PROCESS OF ATTENDING THE REPAIRS THE CONTRACTOR SEES IN THE NEED TO DISCONNECT AND RECONNECT ANY ELECTRICAL RUNNING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ATTEND IT AT ITS COST AND IN COMPLIANCE WITH NEC REGULATIONS.

**RESTORATION FLOOR PLAN**  
scale: 1/4"=1'-0" (if printed on 24"x36")



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**FOREMAN HOUSE**  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, AIA  
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**PROFESSIONAL TEAM:**

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Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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SHEET TITLE AND NUMBER:

**A - 01**  
RESTORATION FLOOR PLAN

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PHOTO #0732. / REFER TO FLOOR PLAN.



G.C SHALL APPLY TO THE ENTIRE EXTERIOR WOOD SIDING FACADE RAW LINSEED OIL. APPLY AS PER MANUFACTURERS RECOMMENDATION. / MOLD AND DIRT BUILDUP SHALL BE REMOVED PRIOR TO APPLYING SIDING FINISH. / AS PART OF ALTERNATE D, G.C. SHALL REMOVE WOOD SIDING ON WALLS MARKED ON SHEET A-01, INSTALL VAPOR BARRIER, AND REINSTALL ORIGINAL WOOD SIDING. SPECIAL CARE SHALL BE TAKEN TO NOT BREAK ANY SIDING WHILE REMOVING OR REINSTALLING.

PHOTO #0718. / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE AND REPLACE ENTIRE VINYL FLOOR TILES ON KITCHEN & BATHROOM FOR TRU SELF LEVELING NATURAL TOPPING, OR EQUIVALENT. SEE SPECS FOR FURTHER INSTRUCTION. G.C. SHALL PROVIDE SUBMITTAL FOR ARCHITECTS REVIEW BEFORE PROCEEDING.| ASBESTOS CONTAINING VINYL TILE FOUND ACCORDING TO ACM REPORT. G.C. SHALL BE RESPONSIBLE FOR FOLLOWING PROPER ABATEMENT PROCEDURE.

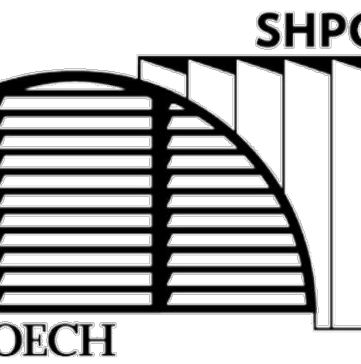
PHOTO #10435 / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL PATCH AND REPAIR CONCRETE CRACK.THOROUGHLY CLEAN CRACKED CONCRETE AREA IN ORDER TO REMOVE ALL THE DIRT AND CONCRETE FLAKES. APPLY SPECIFIED PRODUCT ACCORDING TO THE FINISH NOTES ON AFFECTED AREA. APPLY AS MANUFACTURERS RECOMMENDATION.



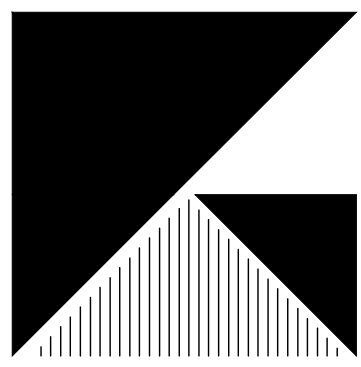
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AJUNTAS, PUERTO RICO

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SHEET TITLE AND NUMBER:

A - 01.1  
RESTORATION PHOTOS

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BY: V.M.V. DATE: JUNE 29, 2023



PHOTO #0729 / REFER TO FLOOR PLAN.



G.C. SHALL REMOVE DEBRIS FROM SITE AND REBUILD ORIGINAL WORKSHOP STRUCTURE FOLLOWING SPECIFICATIONS ON SHEET A-05.1, A-05.2, A-06, A-06.1.

PHOTO #0741. / REFER TO FLOOR PLAN.



IMAGE SHOWS FIREPLACE CONDITION AT TIME OF SITE VISIT.

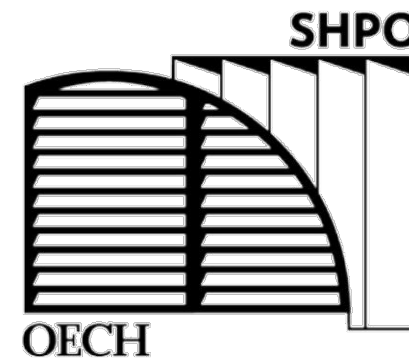
PHOTO #0741./ REFER TO FLOOR PLAN.



G.C. SHALL ALSO CLEAN ALL DEBRIS AND ORGANIC MATERIAL FROM THE METAL AND CONCRETE ROOFS. CLEAN THE ENTIRE CONCRETE ROOF SURFACE USING WATER PRESURE. / G.C. SHALL APPLY ON ROOF 2 COATS OF ELASTOMETRIC WATER SEALER CROSSCO ULTRA SEAL PLUS, OR EQUIVALENT.



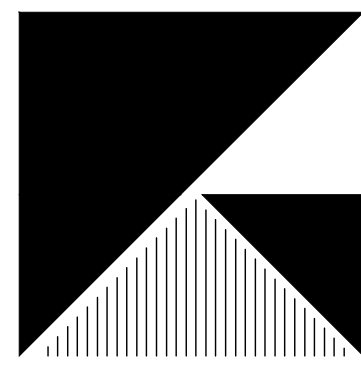
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Laurie S. Rivera

No.	Issue	Date
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SHEET TITLE AND NUMBER:

A - 01.2

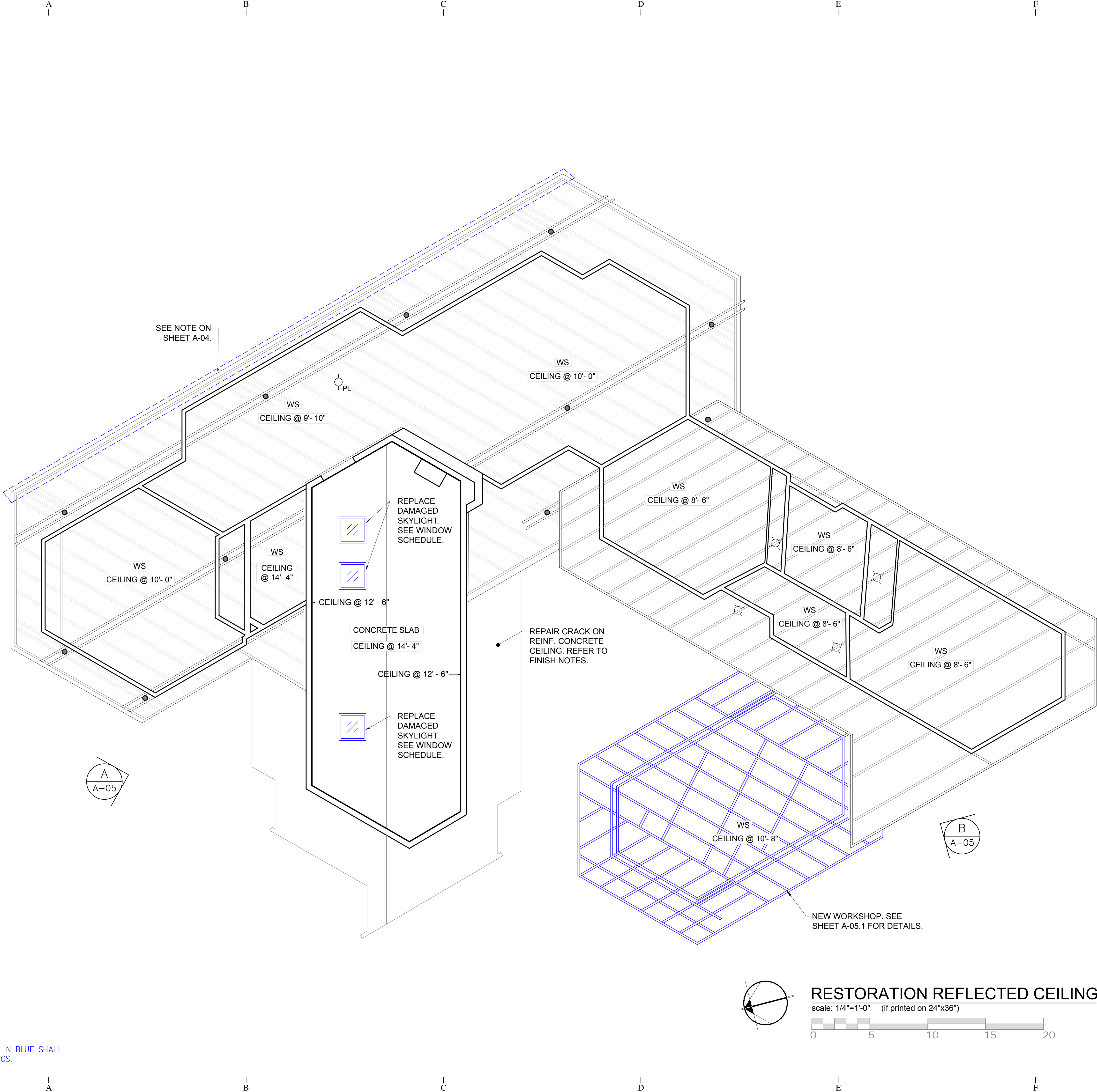
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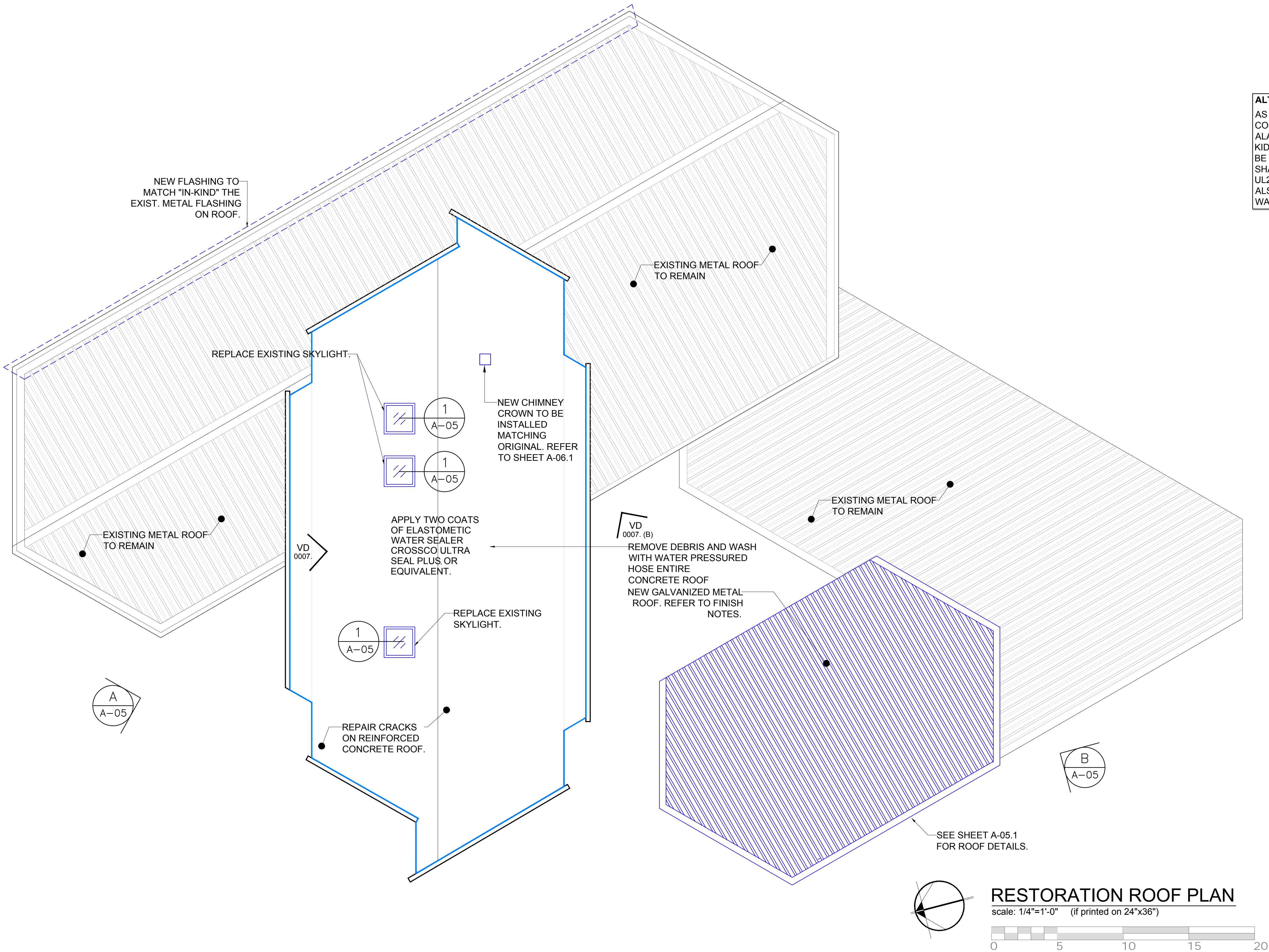


NOTE:  
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




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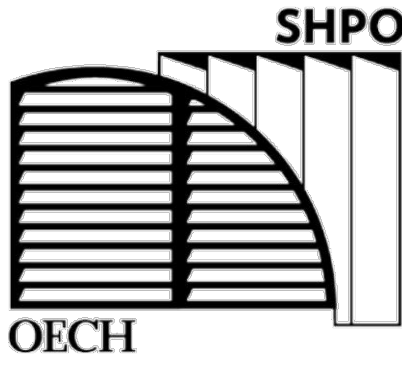
LEGEND:

-  DENOTES ELEVATION
-  DENOTES BUILDING SECTION
-  DENOTES DETAIL NUMBER

**ALTERNATE C**  
AS PART OF ALTERNATE C, G.C. SHALL INCLUDE THE COST OF PROVIDING AND INSTALLING (1) SMOKE ALARM PER SPACE. THE SMOKE ALARM SHALL BE KIDDE MODEL RF-SM-DC, OR EQUIVALENT. IT SHALL BE POWERED BY THREE (3) AA BATTERIES. THE UNIT SHALL AT A MINIMUM MEET THE REQUIREMENTS OF UL217, NFPA72 (CHAPTER 11, 2002 EDITION). IT SHALL ALSO INCLUDE A 10-YEAR MANUFACTURER'S LIMITED WARRANTY.



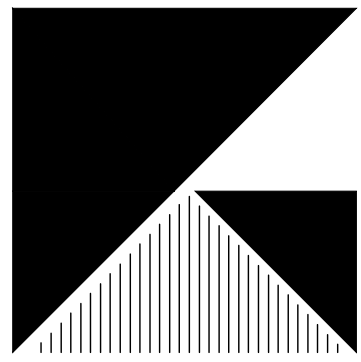
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PROFESSIONAL TEAM:

Victor M. Villegas  
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Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

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SHEET TITLE AND NUMBER:

A - 04

RESTORATION ROOF PLAN

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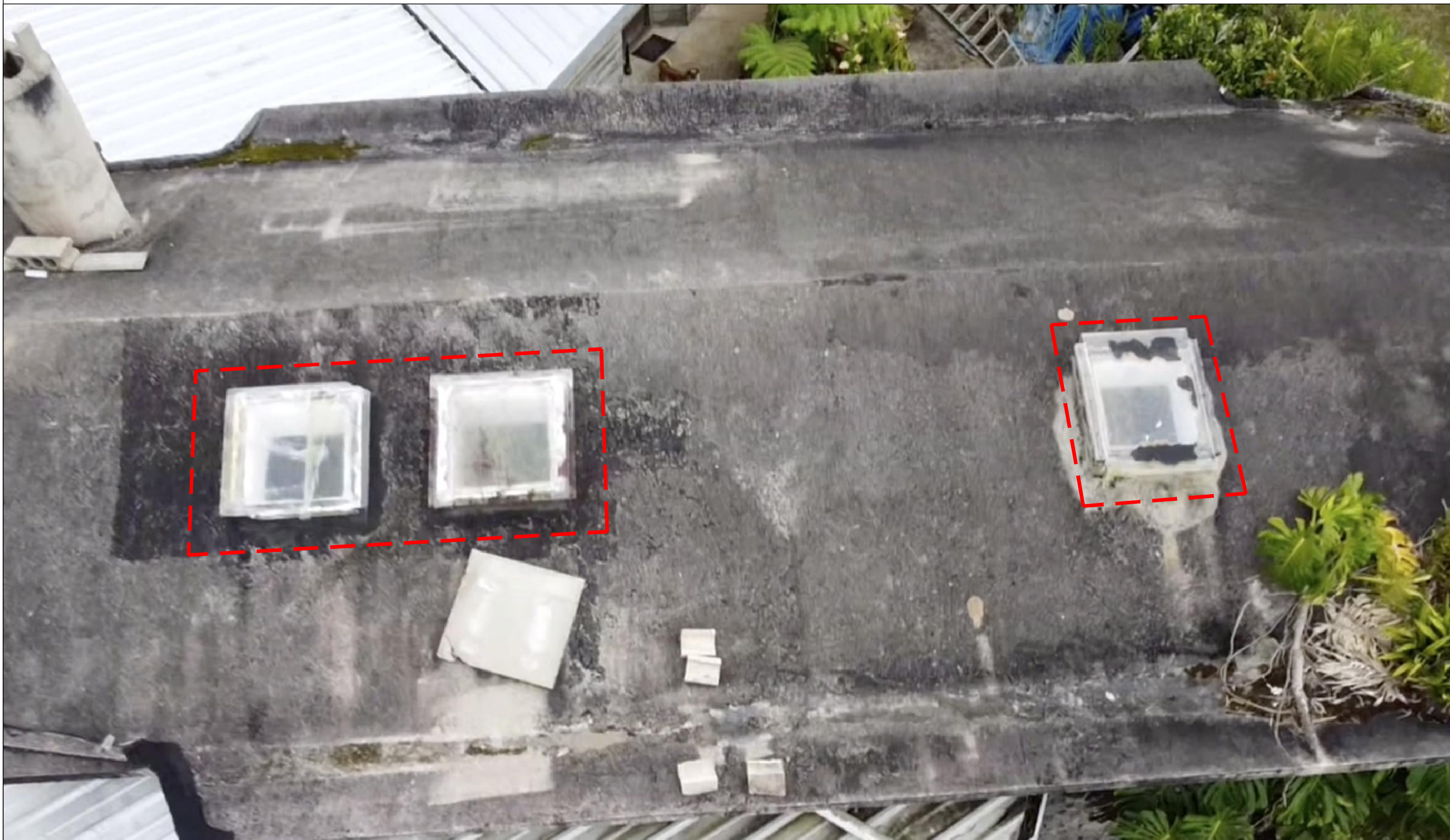
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VD #0007. / REFER TO FLOOR PLAN.



GENERAL CONTRACTOR SHALL REMOVE ALL DAMAGED ACRYLIC SKYLIGHTS AND REPLACED FOR NEW. FOR SKYLIGHT SPECIFICATIONS REFER TO DOOR AND WINDOW SCHEDULE.

G.C. SHALL CLEAN THE ROOF FROM DEBRIS & ORGANIC MATERIAL.

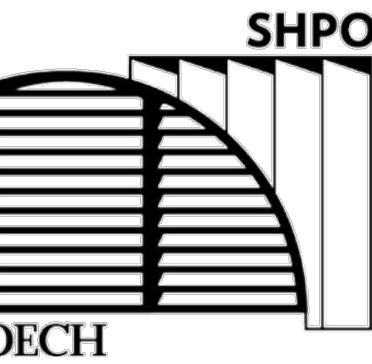
VD #0007. (B) / REFER TO FLOOR PLAN.



G.C. SHALL RECREATE DAMAGED CHIMNEY CROWN. NEW CHIMNEY CROWN SHALL BE EQUAL TO PREVIOUS DESIGN AS SHOWN ON BLOW UP PHOTO AT LEFT. SEE SHEET A-06.1 FOR FURTHER INSTRUCTION. DISCUSS WITH ARCHITECT BEFORE PROCEEDING.



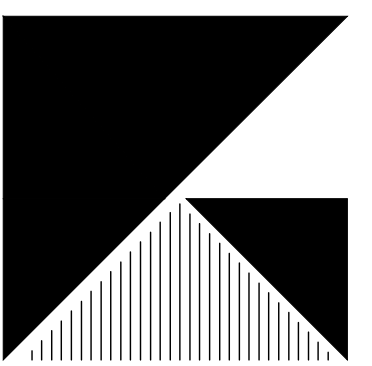
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Reconozco que cualquier declaración falsa o falsificación de que se trate que se me presente en un juicio o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de los daños y perjuicios que sean disciplinarios por la OGP.

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Víctor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

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SHEET TITLE AND NUMBER:

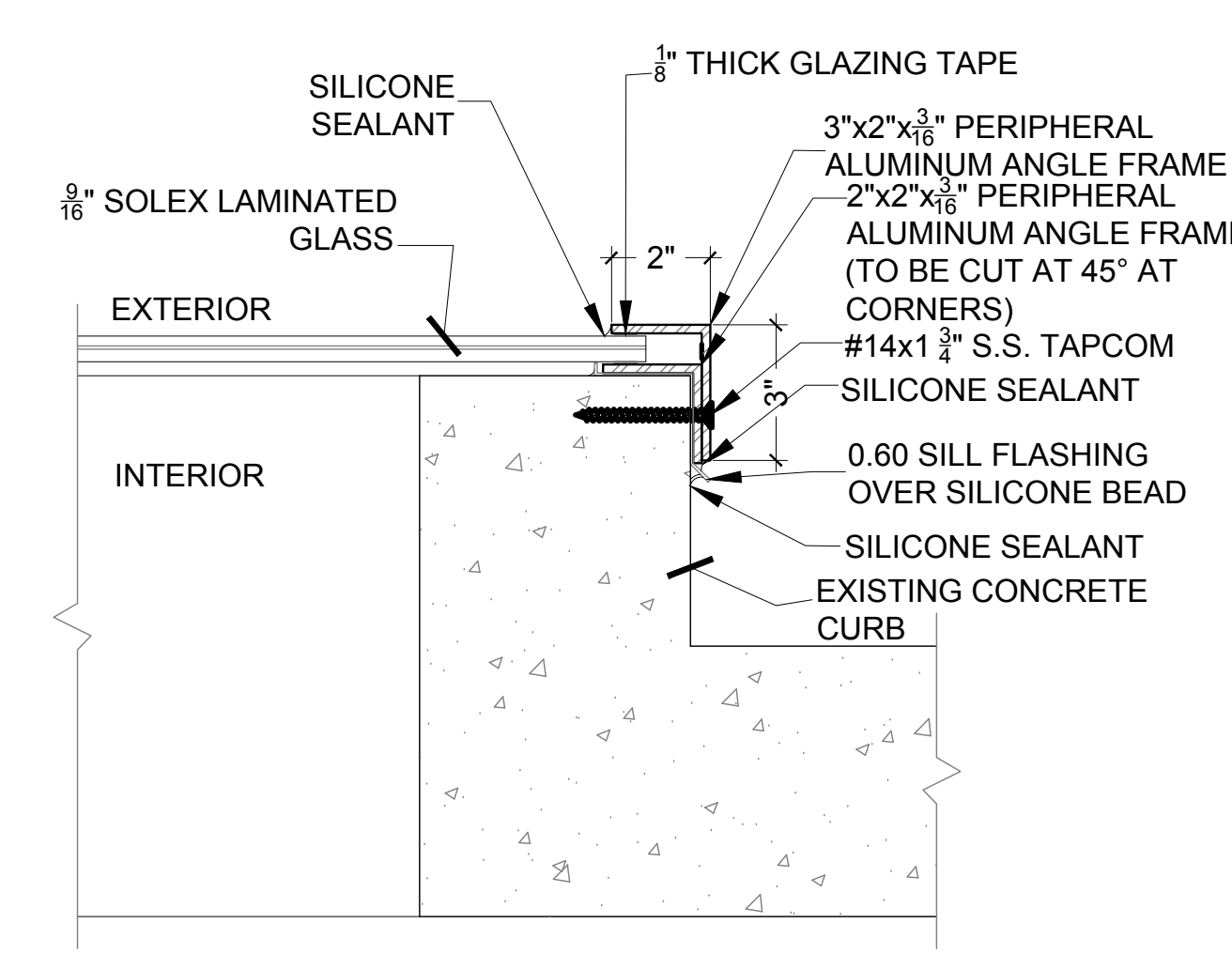
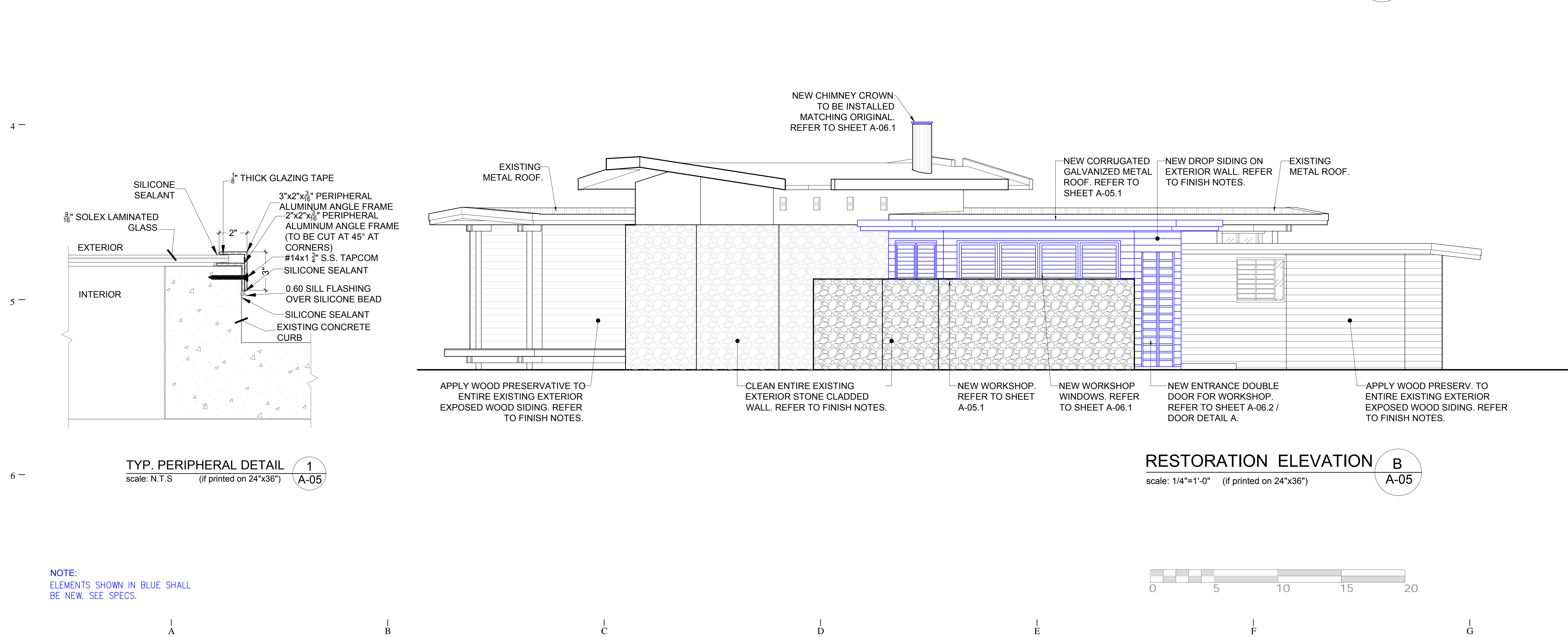
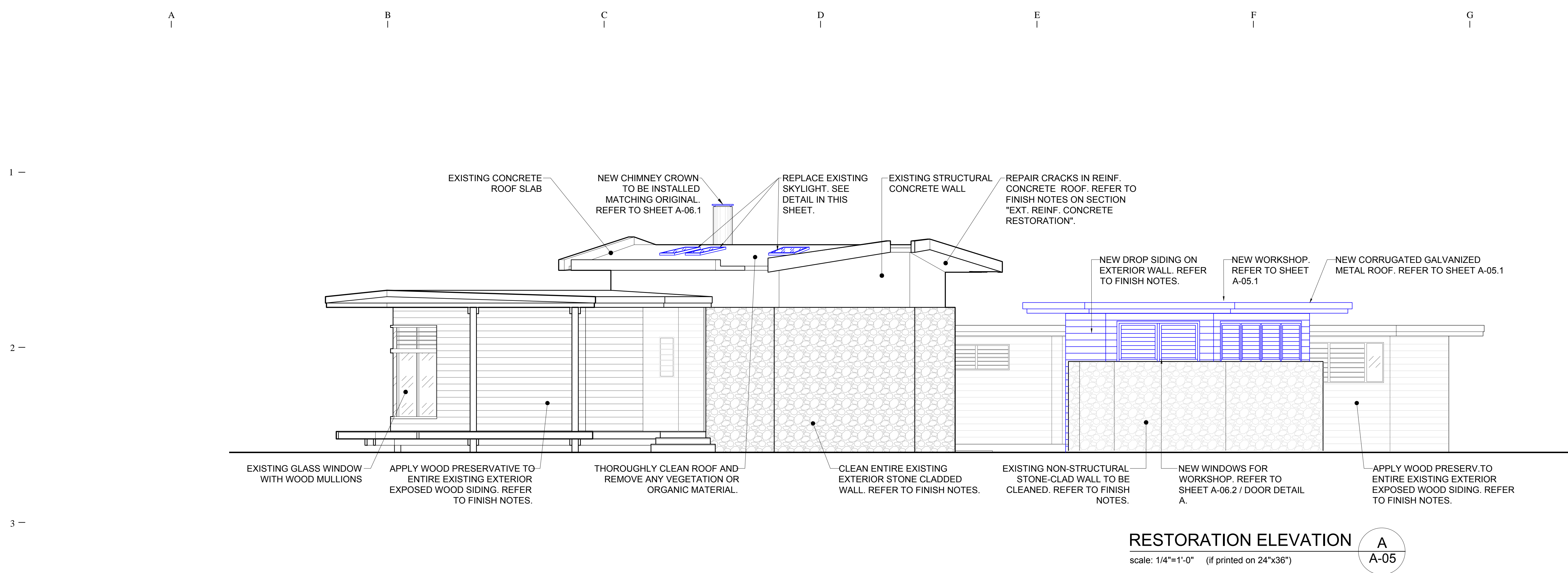
# A - 04.1

## RESTORATION PHOTOS

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TYP. PERIPHERAL DETAIL 1 A-05  
scale: N.T.S. (if printed on 24"x36")

NOTE:  
ELEMENTS SHOWN IN BLUE SHALL  
BE NEW. SEE SPECS.



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Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

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GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

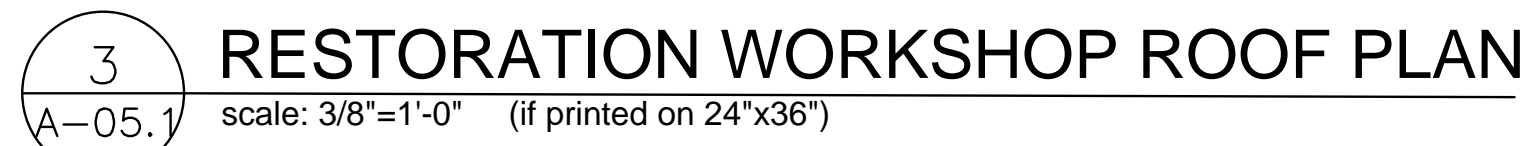
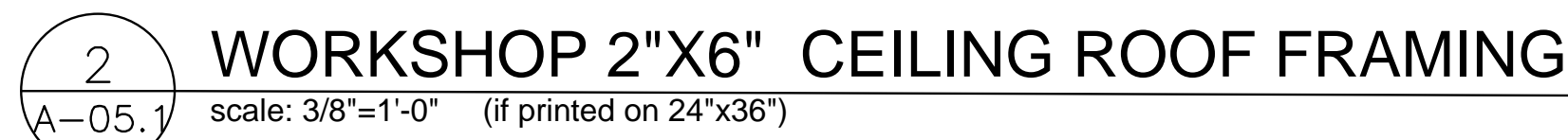
A - 05

RESTORATION ELEVATIONS








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BY: V.M.V. DATE: JUNE 29, 2023





## LEGEND:

	DENOTES CHANGE OF FLOOR PATTERN
	DENOTES DOOR TYPE
	DENOTES WINDOW TYPE
	CHANGE IN LEVEL
	DENOTES ELEVATION
	DENOTES BUILDING SECTION
	DENOTES DETAIL NUMBER

**LIGHT FIXTURE NOTE:**  
THE LIGHT FIXTURES TO BE INSTALLED  
IN WORKSHOP SHALL BE A LEVITON  
INCANDESCENT LAMP HOLDER, OR  
EQUIVALENT, ON THE WALL AT 72" A.F.F.  
AS INSTRUCTED ON SHEET A-05.1

**ELECTRICAL NOTE:**  
G.C. SHALL CONNECT THE NEW LIGHT SWITCH, LIGHT FIXTURES, AND OUTLETS IN THE WORKSHOP TO THE EXISTING CIRCUIT. DURING BIDDING PROCESS & INSPECTION, G.C. SHALL VERIFY THE EXISTING CIRCUIT'S CURRENT STATE AND IF IT MEETS CODE COMPLIANCE.

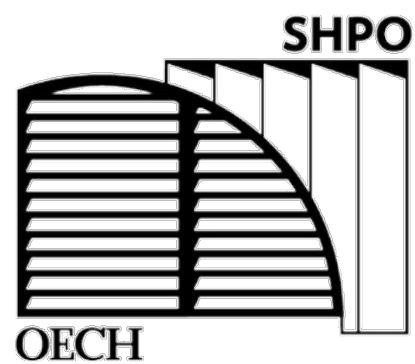
**NOTE:**  
ALL WOOD TO BE USED FOR ROOF  
FRAMING SHALL BE YELLOW PINE  
WOLMANIZE AND TREATED COMPLETE  
DRIED.

**ALTERNATE A**  
AS PART OF ALTERNATE A, G.C. SHALL WATERPROOF THE WORKSHOP ROOF. AS PART OF THIS ALTERNATE THE G.C. IS TO INSTALL NEW  $\frac{3}{4}$ " TREATED PLYWOOD SHEATHING WHEN NECESSARY. G.C. MUST FOLLOW INSTRUCTIONS ON SHEET A-08.1 FOR METAL PANEL INSTALLATION. SEE SPECS.

**IMPORTANT NOTE:**  
IF ALTERNATE A IS NOT PART OF THE  
SCOPE, G.C. SHALL FOLLOW  
INSTRUCTIONS SHOWN ON SHEET  
A-08.1.



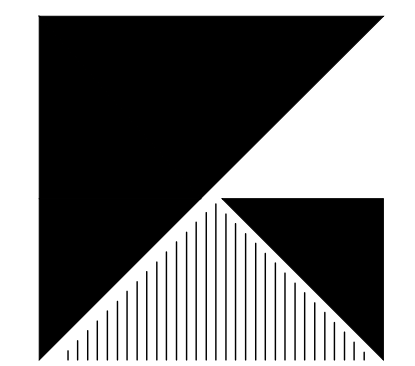
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**FOREMAN HOUSE**  
 ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
Registration No. 11445 PR



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Yo, Víctor M. Villegas Durán, Lic. #11445, cerno que soy el profesional que diseñó estos planos y que las especificaciones complementarias. También, certifico que he leído y entiendo plenamente los contenidos de las disposiciones aplicables del Reglamento Conjunto y las disposiciones aplicables de la Ley Núm. 39 de 1978, de Construcción Vigentes de las Agencias, y que como Representadora o Corporaciones Públicas con jurisdicción en esta materia, que he cumplido con las disposiciones y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, de Construcción, con el Reglamento Conjunto y con la Ley Núm. 39 de 1978, de Construcción Vigentes de las Agencias. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento de la presente Ley, o por mala fe, o por mala intención, o por malos, o por otras personas con mi consentimiento, me hacen responsable de cualquier acción judicial y disciplinaria que se tome en consecuencia.

PROFESSIONAL TEAM:

Víctor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

[illegible]

Drawn by \_\_\_\_\_ | Reviewed by \_\_\_\_\_

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SHEET TITLE AND NUMBER:

**Λ 05 1**

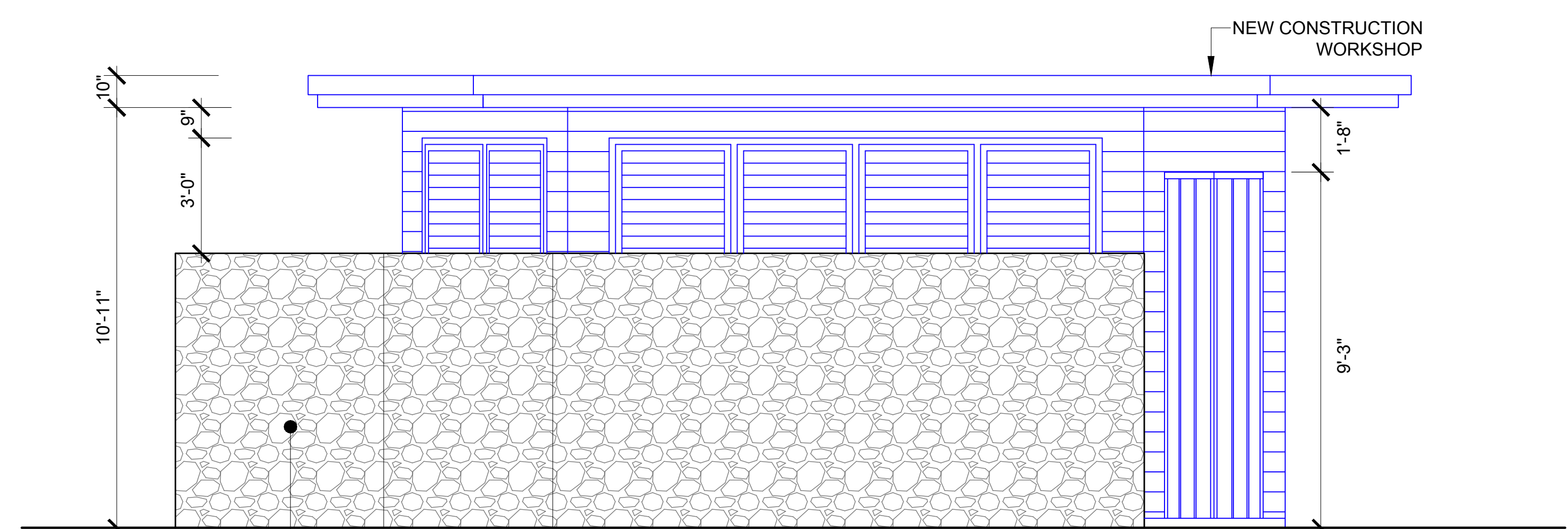
# A - 03.1

RESTORATION WORKSHOP FLOOR  
PLAN, ROOF PLAN & RCP

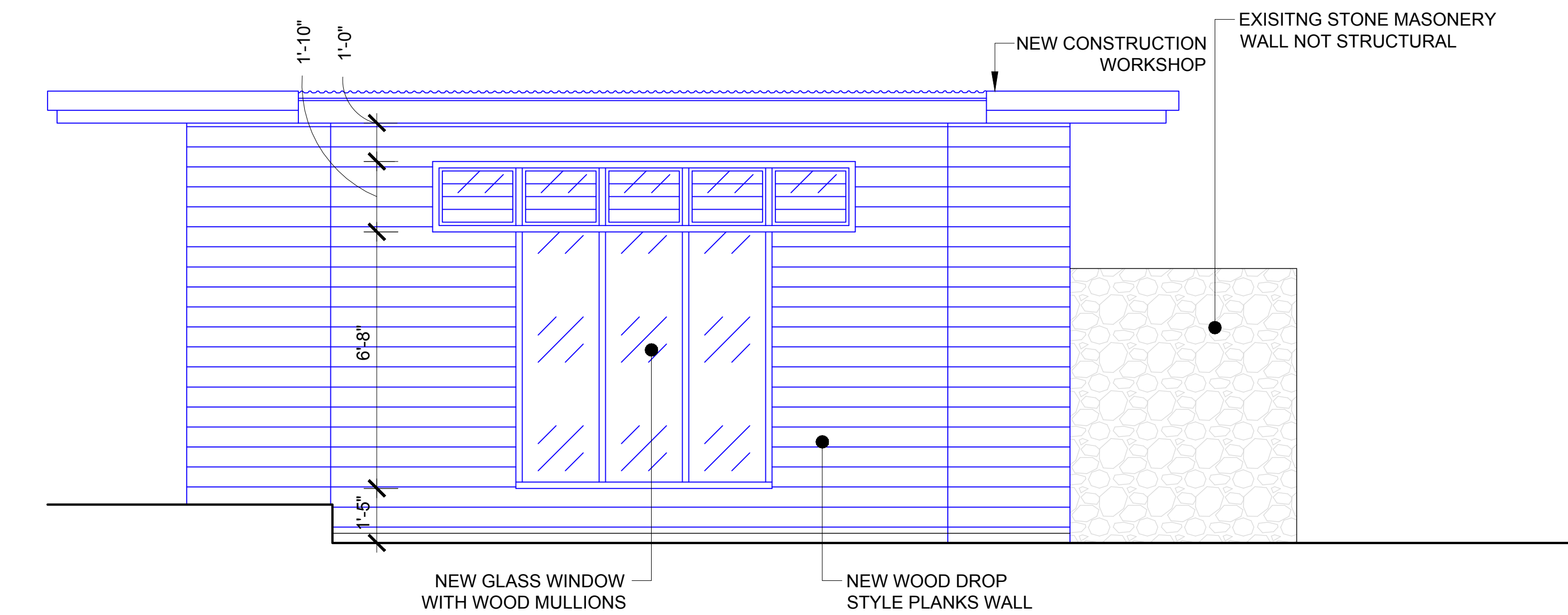
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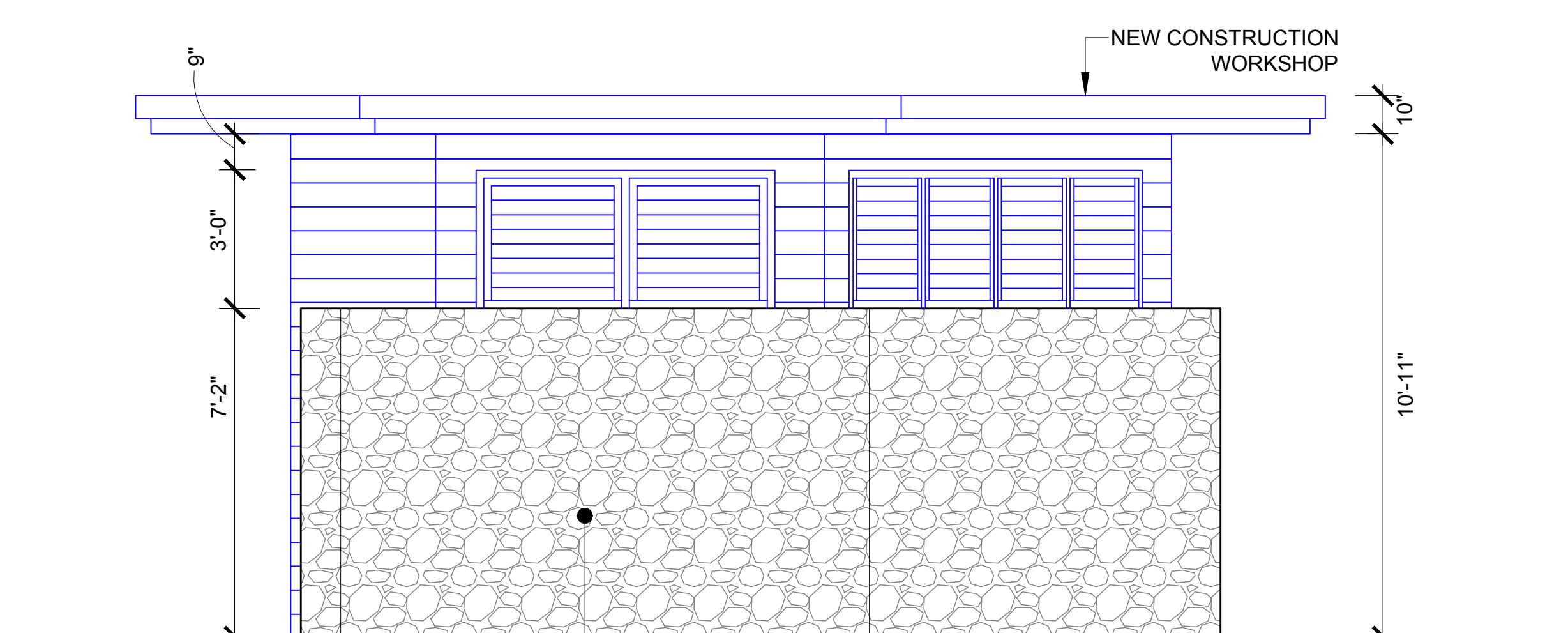




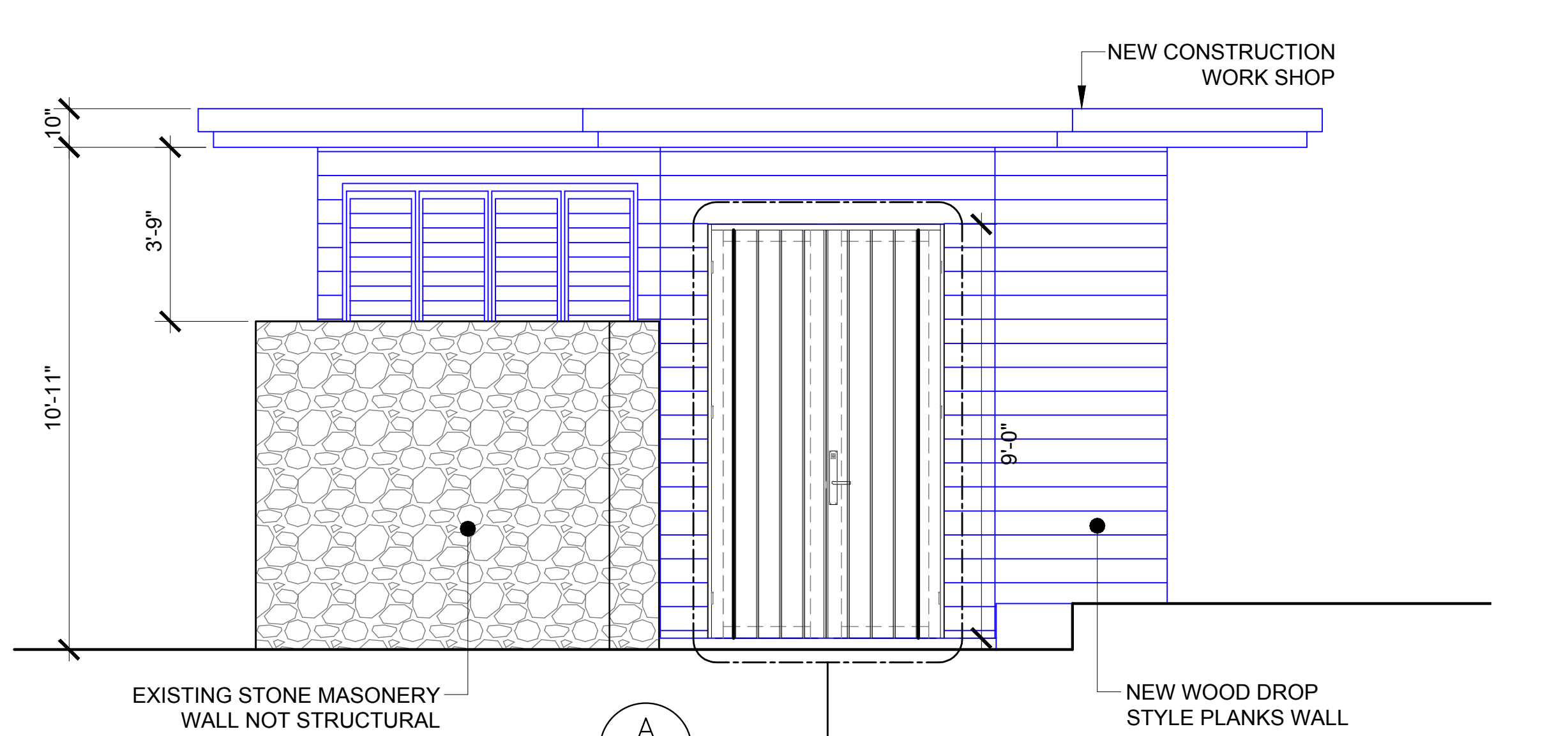
RESTORATION ELEVATION A  
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A-05.2



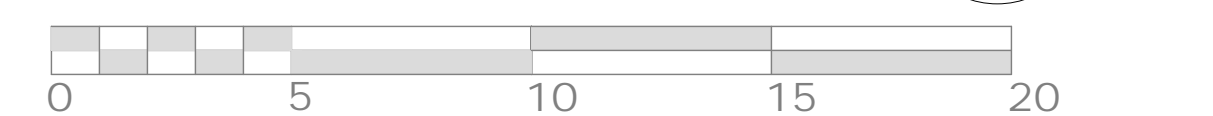
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A-05.2



RESTORATION ELEVATION B  
scale: 1/4"=1'-0" (if printed on 24"x36")  
A-05.2



RESTORATION ELEVATION D  
scale: 1/4"=1'-0" (if printed on 24"x36")  
A-05.2



NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION AND SIZE OF ROOF DRAINS  
TO BE VERIFIED ON SITE.

NOTE:  
BLUE LINES INDICATE NEW ELEMENTS



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SHEET TITLE AND NUMBER:  
**A - 05.2**  
RESTORATION  
WORKSHOP ELEVATIONS

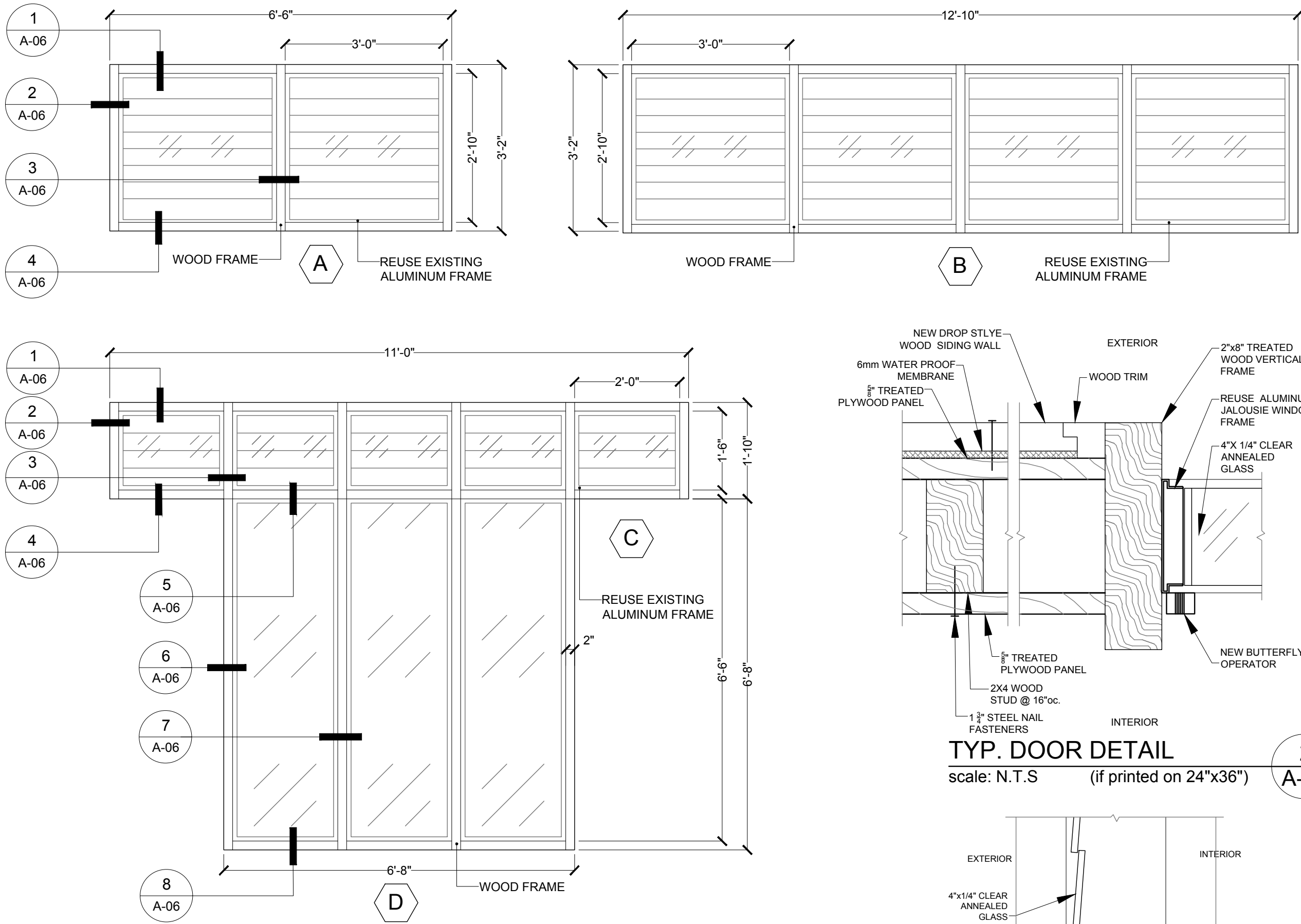
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/Volumes/ARQ DATA/ACTIVOS/RESTAURACIONES SHPO - ESHPPF-HIM/PROYECTOS/03-08-22 CASA FOREMAN/PLANOS/A-06 WORKSHOP DOOR

WINDOWS



TYP. DOOR DETAIL  
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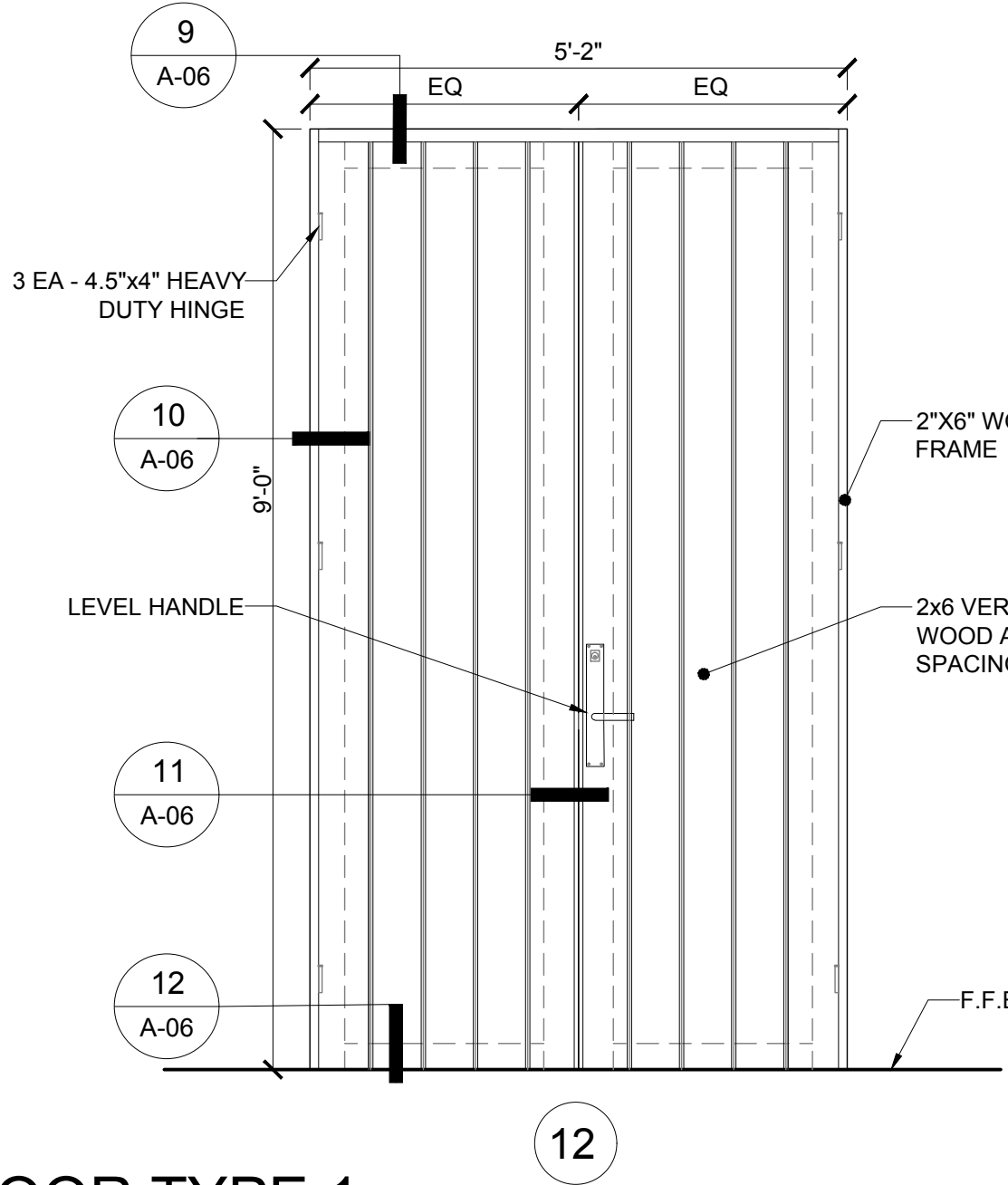
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scale: N.T.S (if printed on 24"x36")

TYP. DOOR DETAIL  
scale: N.T.S (if printed on 24"x36")

DOOR



DOOR TYPE 1  
scale: 2"=1'-0" (if printed on 24"x36")

DOOR HARDWARE SCHEDULE:

- 1ea TABOR LEVER EXTERIOR LATCH SET/ KEY - THUMB TURN /BRASS /#C107191/  
OIL-RUBBED BRONZE / BY: REJUVENATION.COM OR EQUIVALENT.
- 3ea HEAVY DUTY BALL BEARING HINGES 4½"x4"/STEEL /#238006 /OIL RUBBED BRONZE /  
BY: HARDWARESOURCE.COM OR EQUIVALENT.

TYP. DOOR DETAIL  
scale: N.T.S (if printed on 24"x36")

TYP. DOOR DETAIL  
scale: N.T.S (if printed on 24"x36")

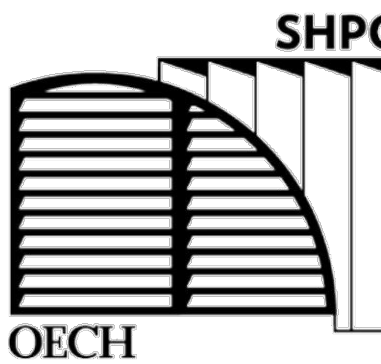
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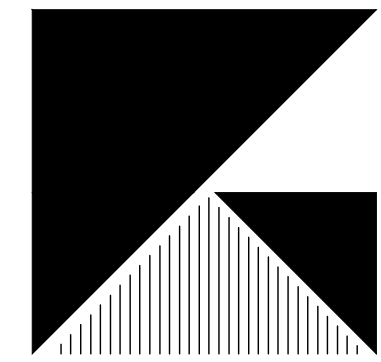
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Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

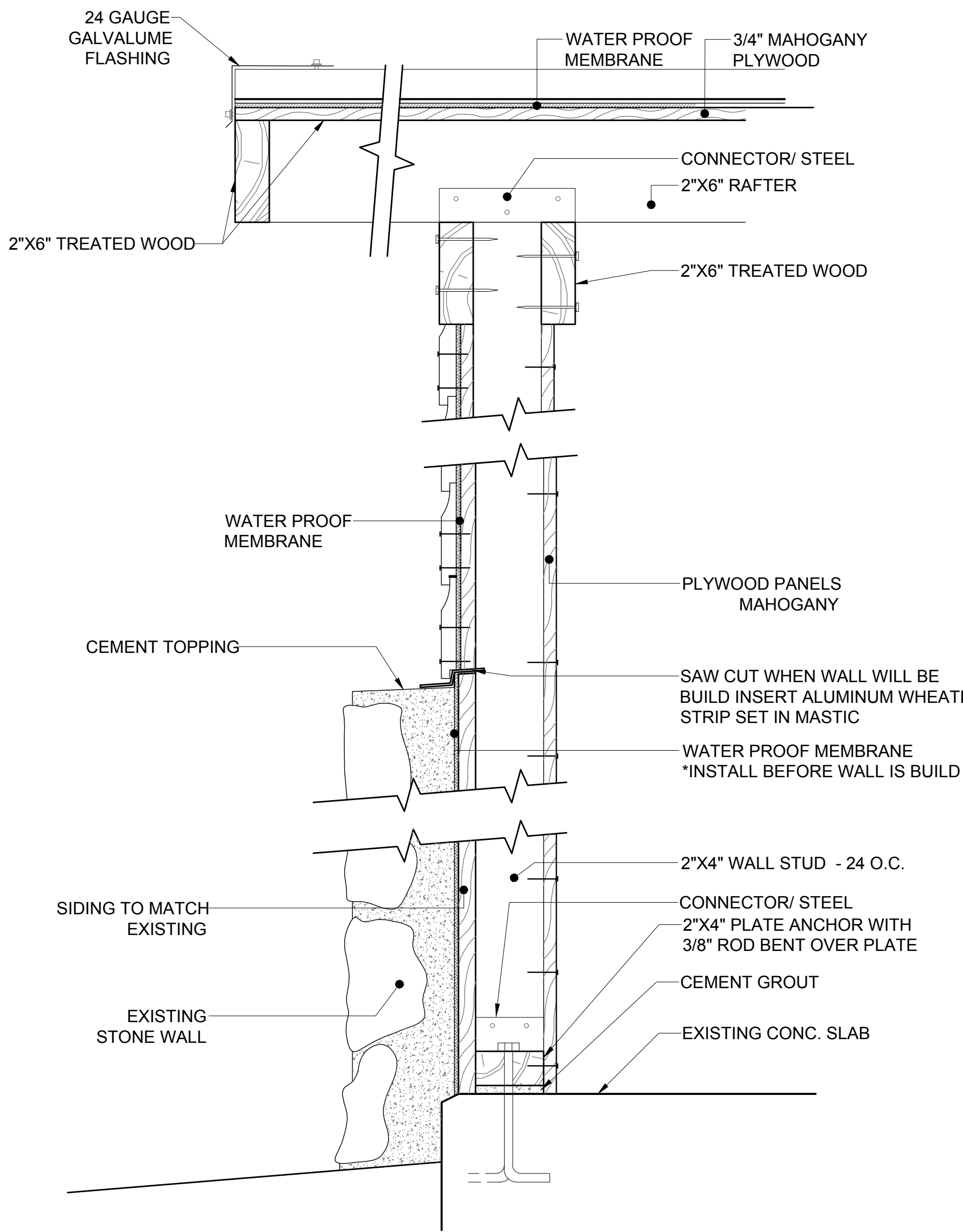
A-06

DOORS & WINDOWS  
SCHEDULE

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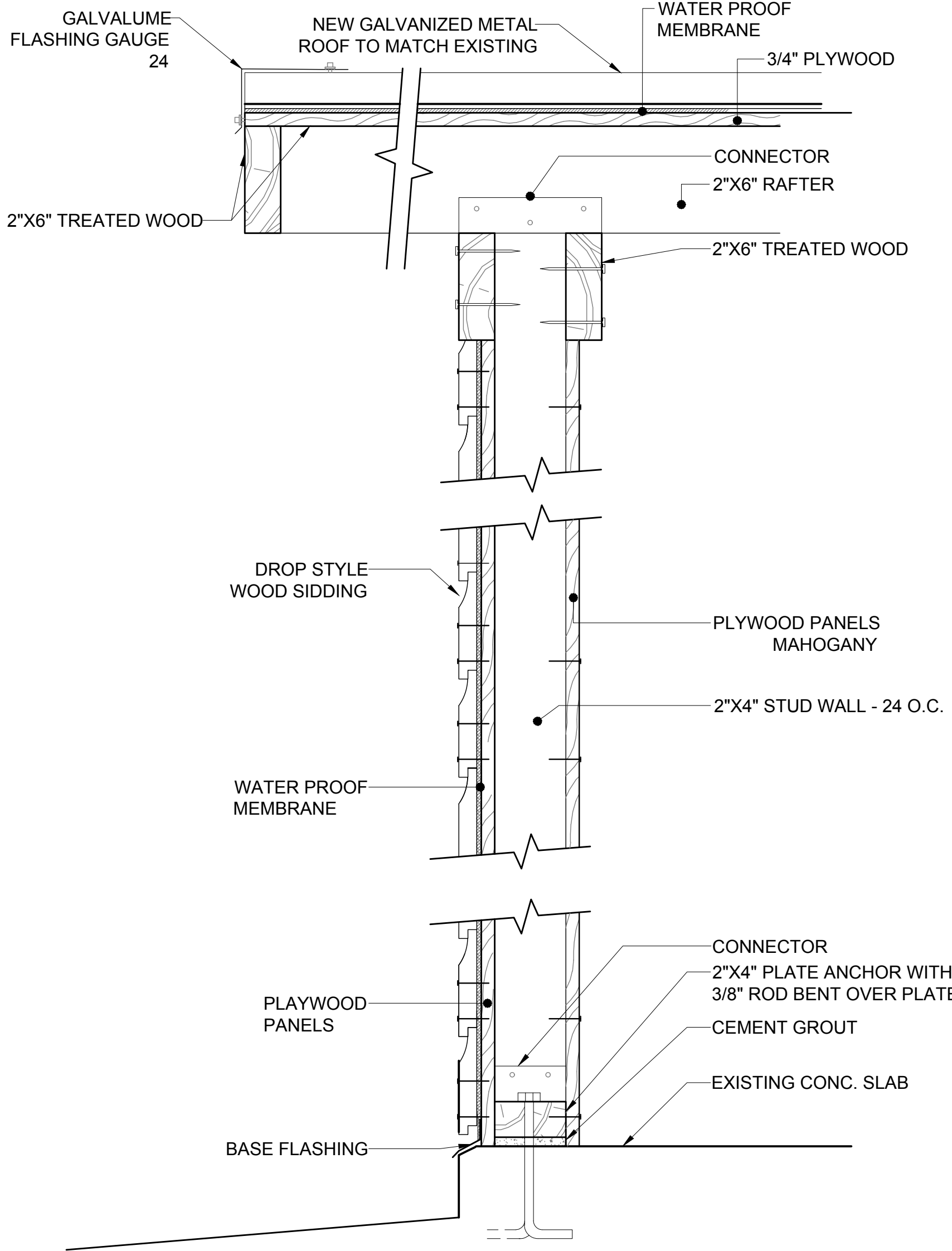
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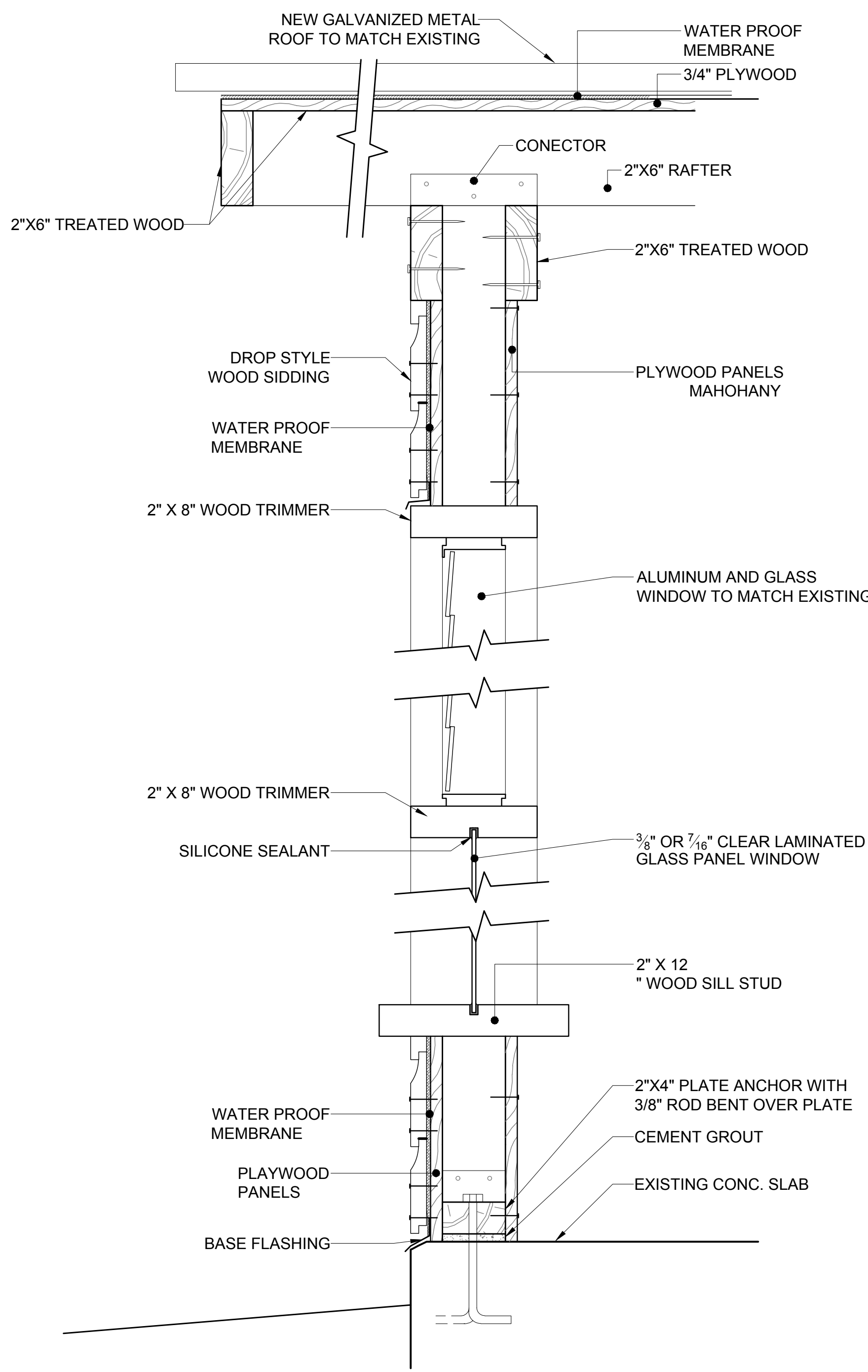


WALL SECTION 1  
scale: 2"=1'-0" (if printed on 24"x36")

**WORKSHOP WATERPROOFING MEMBRANE NOTE**  
WORKSHOP WALLS SHALL INCLUDE BREATHER FR SYSTEM - A1 CLASS FIRE RATED WEATHERPROOFING BREATHABLE MEMBRANE BY EFFISUS, OR EQUIVALENT. G.C. SHALL FOLLOW INSTRUCTIONS ON SHEET A-06.1 FOR MEMBRANE LOCATION.



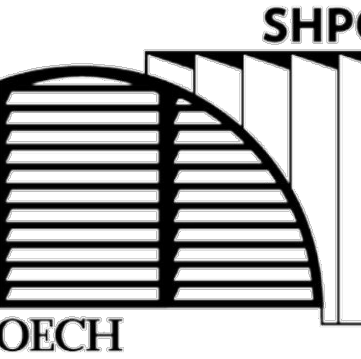
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WALL SECTION 3  
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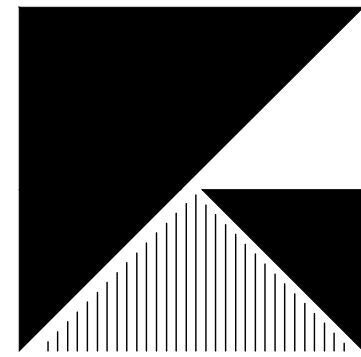
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SHEET TITLE AND NUMBER:

A - 06.1

WORKSHOP  
WALL SECTION AND DOOR TYPE

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BY: V.M.V. DATE: JUNE 29, 2023







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ASBESTOS GENERAL NOTES:	
1.	ASBESTOS ABATEMENT PROJECT WILL CONSIST OF THE REMOVAL AND DISPOSAL OF ASBESTOS CONTAINING MATERIAL IN ORDER TO FACILITATE PROJECT.
2.	RELATED PROJECT DOCUMENTS:  A. ENVIRONMENTAL SURVEY FOR ASBESTOS CONTAINING MATERIALS REPORT BY ZIMMETRY ENVIRONMENTAL. B. SPECIFICATION SECTION 02 26 23 – ASBESTOS ABATEMENT
4.	THE LOCATIONS OF IDENTIFIED ASBESTOS CONTAINING MATERIAL ARE PRESENTED ON SURVEY REPORT. ACTUAL REMOVAL LOCATION AND QUANTITIES TO BE REMOVED MAY VARY BASED ON THE PROJECT SCOPE OF WORK. G.C SHALL QUANTIFY.
5.	ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS AND ALL GOVERNING CODES, RULES, AND REGULATIONS. WHERE CONFLICTS OCCUR BETWEEN THE PROJECT DOCUMENTS AND APPLICABLE CODES, RULES, AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.
6.	BEFORE STARTING THE WORK, THE CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
7.	ASBESTOS REMOVAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH PUERTO RICO DEPARTAMENTO DE RECURSOS NATURALES Y AMBIENTALES (DRNA) RULES 102, 422, AND 501, USEPA NESHAPS 40 CFR 61, AND OSHA 29 CFR 1926. THESE SHALL BE THE MINIMUM RULES FOR THIS PROJECT.
8.	ABATEMENT ACTIVITIES INCLUDING BUT NOT LIMITED TO WORK AREA PREPARATION, GROSS REMOVAL ACTIVITIES, CLEANING ACTIVITIES, WASTE REMOVAL, ETC. MAY NEED TO BE PERFORMED DURING 'OFF-HOURS'.
9.	THE CONTRACTOR SHALL NOT INTERFERE WITH DAILY ACTIVITIES WITHIN THE REMAINDER OF THE BUILDING OR OTHERWISE AFFECT DAILY OPERATIONS OR PUBLIC ACTIVITIES.
10.	THE CONTRACTOR MUST MAINTAIN CURRENT LICENSES PURSUANT TO LOCAL AND FEDERAL REGULATIONS FOR ALL WORK RELATED TO THIS PROJECT, INCLUDING THE REMOVAL, HANDLING, TRANSPORT, AND DISPOSAL OF ASBESTOS CONTAINING MATERIALS.
11.	THE CONTRACTOR SHALL HAVE AND SUBMIT PROOF THAT ANY PERSONS EMPLOYED BY THE CONTRACTOR TO ENGAGE IN OR SUPERVISE WORK ON ANY ASBESTOS PROJECT HAVE A VALID DRNA CERTIFICATION.
12.	ALL WORK INCLUDING, BUT NOT LIMITED TO, PHASING, SCHEDULING, AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND THE OWNER'S REPRESENTATIVES.
13.	CONTRACTOR SHALL PROVIDE A COPY OF THEIR WORK PLAN AND OTHER SUBMITTALS DETAILED IN THE PROJECT SPECIFICATIONS PRIOR TO THE START OF THE ABATEMENT PROJECT.
14.	CONTRACTOR SHALL CONFINE THEIR APPARATUS, STORAGE OF MATERIALS AND SUPPLIES,AND THE OPERATION OF WORKERS TO THE LIMITS ESTABLISHED BY LAW, ORDINANCES, AND THE DIRECTIONS OF THE OWNER OR OWNER'S REPRESENTATIVE.
15.	CONTRACTOR SHALL CONSULT THE OWNER OR OWNER'S REPRESENTATIVE FOR APPROVED ACCESS ROUTES TO THE BUILDING AND SHALL ENSURE THAT NO EXITS FROM THE BUILDING AREA OBSTRUCTED. CONTRACTOR SHALL ENSURE THAT APPROPRIATE SAFETY BARRIERS ARE ESTABLISHED.
16.	PACKING, TRANSPORTATION, AND DISPOSAL SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL REGULATIONS. COPIES OF ASBESTOS WASTE MANIFESTS AND/OR OTHER RECEIPTS ISSUED BY THE WASTE HAULER AND DISPOSAL FACILITY SHALL BY PROVIDED TO THE OWNER UPON PROJECT COMPLETION.
17.	CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE FEDERAL AND LOCAL EMPLOYEE HEALTH AND SAFETY REGULATIONS.
18.	ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ALL ASBESTOS CONTAINING MATERIALS DOWN TO THE SUBSTRATE TO A SURFACE THAT IS FREE AND CLEAR OF RESIDUE AND SUITABLE FOR REPLACEMENT MATERIALS.
19.	THE CONTRACTOR SHALL COORDINATE ALL ASBESTOS ABATEMENT AND TEMPORARY PROTECTION TO ENSURE THAT THE BUILDING REMAINS WATERTIGHT WHEN ABATEMENT IMPACTS THE BUILDING ENVELOPE.
20.	THE ASBESTOS ABATEMENT CONTRACTOR SHALL PERFORM ALL PRE-DEMOLITION ACTIVITIES NECESSARY TO COMPLETE THE WORK AND COORDINATE SUCH ACTIVITIES WITH THE OWNER. COORDINATE PRE-DEMOLITION WITH CONSTRUCTION MANAGEMENT AND GENERAL CONTRACTOR AS NECESSARY.
21.	NON-FRIABLE ABATEMENT METHODS WILL BE ALLOWED
22.	REMOVE OF AND DISPOSE OF BLACK DAMP-PROOFING AS ACM UTILIZING NON-FRIABLE REMOVAL METHODS. UP TO 1,500 SF OF THIS MATERIAL MAY BE PRESENT WITHIN THE PROJECT WORK AREAS. ABATEMENT WILL ONLY BE PERFORMED ON AN AS NEEDED BASIS. ACTUAL QUANTITY TO BE REMOVED WILL BE DETERMINED DURING CONSTRUCTION.

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ASBESTOS ABATEMENT:	
1.	PROJECT DESCRIPTION – THE PROJECT CONSISTS OF THE ABATEMENT OF APPROXIMATELY 352 SF OF VINYL TILE AT THE KITCHEN. ALSO, 38 SF OF VINYL TILE, 27 SF OF BASEBOARD AND 350 SF OF RIGID PANELS AT THE BATHROOM, OF ASBESTOS CONTAINING MATERIALS. THE OBJECT IS TO ISOLATE THE AREA FROM OTHER SPACES TO PREVENT CROSS CONTAMINATION TO NON-CONTAMINATED AREAS.
2.	PROJECT SAFETY REQUIREMENTS –TO MINIMIZE ANY HAZARD POTENTIAL TO THE HEALTH AND SAFETY OF THE G.C., THE ENVIRONMENTAL CONTRACTOR AND OTHER ASSOCIATED SITE PERSONNEL, BE IT REGULAR OR INCIDENTAL, AN ON-SITE HEALTH AND SAFETY PROTOCOLS WILL BE ALWAYS REQUIRED.
3.	ALSO, SAFETY MEETINGS ARE A MUST, EITHER AT LEAST ON A WEEKLY BASIS OR WHEN A NEW TASK IS TO BE COMMENCED, AN INCIDENT HAS OCCURRED OR IS SUSPECTED TO OCCUR OR WHENEVER SITE AND WEATHER CONDITIONS MIGHT REQUIRE READDRESSING ANY.
4.	POTENTIAL HAZARDS. THESE MEETINGS INCLUDE BUT ARE NOT LIMITED TO ESTABLISH SAFETY PROTOCOL, PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS, PPE'S AVAILABILITY AS WELL AS OPERATING CONDITIONS.
5.	SPECIFIC WORK PLAN AND SPACE LAYOUT FOR ABATEMENT. – ASBESTOS ABATEMENT FALLS WITHIN NESHP REGULATIONS.
6.	TO ACHIEVE ABATEMENT ALL CONTAMINATED WALL AREAS WILL BE SEALED IN ITS ENTRANCE WITH DOUBLE LAYER OF 6MIL POLY IN FORM OF AND WORKING AS AN AIRLOCK. A FULL ENCLOSURE WITH NEGATIVE AIR MACHINES WILL BE CONSTRUCTED IN AN ADEQUATE SIZE AS TO FIT THE WHOLE ABATEMENT AREA. THE ENCLOSURES WILL CONSIST OF A WOODEN FRAME COVERED IN DOUBLE 6 MIL POLY SHEETS, SEALED WITH DUCT TAPE. THAT IS 3 WALLS, ROOF (INCLINED TO AVOID WATER RETAINAGE), AND FLOOR. OF COURSE, THE WALL TO BE ABATED WILL NOT HAVE ANY POLY. THE INTENTION IS TO KEEP ANY ASBESTOS FIBERS MIGRATING TO THE EXTERIOR OF THE WORK AREA. THIS AIRLOCK WILL LEAD TO 3-CHAMBER DECONTAMINATION UNIT EQUIPPED WITH A PORTABLE SHOWER THROUGH OUR PERSONNEL WILL ENTER AND EXIT THE AREA. EACH TIME THEY GO IN, THEY MUST BE COMPLETELY UNIFORMED WITH DISPOSABLE CLOTHING AND GLOVES. THEY MUST ALSO HAVE PROPER RESPIRATORY PROTECTION (HALF-FACE RESPIRATORS WITH HEPA FILTERS). ALL THESE AREAS WILL BE CLEARLY IDENTIFIED TO SPREAD AWARENESS OF THE NATURE OF OUR PROJECT.
7.	ASBESTOS ABATEMENT PERMIT – A SPECIFIC WORK PLAN WILL BE PART OF MANY OTHER DOCUMENTATION THAT WILL BE PRESENTED TO THE PRDNER (PUERTO RICO DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES) DETAILING ALL THE WORK PRACTICES, AND GUIDELINES VANGUARD WILL FOLLOW BEFORE, DURING AND AFTER THE PROJECT'S EXECUTION. IT WILL CONTAIN ALL CREDENTIALS OF THE SUPERVISION, LABORS, HYGIENISTS, LABORATORIES, TRANSPORTERS, PROJECT DESIGNERS, AND LANDFILL FACILITIES AS WELL AS A COPY OF THE ENVIRONMENTAL REPORT WITH THE FINDINGS REGARDING THIS PROJECT. THESE WILL BE SUBMITTED ALONG A PERMIT SUBMITTAL FORM FOR DNER'S EVALUATION AND APPROVAL.
8.	COMMUNICATIONS – A HAZARD COMMUNICATION PROGRAM WILL BE IN FORCE DURING THE PROJECT DURATION. SUCH PROGRAM INCLUDES BUT IS NOT LIMITED TO RIGHT TO KNOW ACT, MSDS OF HANDLING SUBSTANCES, LABELING, CLASSIFICATION, RISK ASSESSMENT AND OTHER COMMUNICATION DEEM NECESSARY TO PROVIDE THE WORKER AND ALL ASSOCIATED ENTITIES A CLEAR UNDERSTANDING OF THE RISK INVOLVED AND THE CORRECTIVE ACTIONS IN CASE OF ANY UNFORESEEN INCIDENT.
9.	ALL PERSONNEL SHOULD KNOW WHAT THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE HANDLED MATERIALS ARE. ANY POSSIBLE REACTIVITY, INFLAMMABILITY, AND EXPLOSIVELY (IF APPLICABLE) SHALL BE PROPERLY ADDRESSED PRIOR TO ANY CONTACT OR HANDLING OF SUCH MATERIALS. THESE HAZARDS COMMUNICATIONS SHALL BE PLACED IN CLEAR VIEW OF ALL INVOLVED PARTIES, EITHER IN A RIGHT TO KNOW STATION OR ON POSTERS STATING THESE RISKS. ALL PERSONNEL HAVES TO BE DULY LICENSED AND EXPERIENCED HANDLING SUCH MATERIALS AS WELL AS UNDERSTANDING ALL POTENTIAL HAZARDS, INCLUDING BUT NOT LIMITED TO WORKING ON OUTDOOR CONDITIONS, HAND SIGNALING, SOUND SIGNALING, AND VISUAL SIGNALING. THE HOT ZONES MUST BE VISUALLY ISOLATED BY BARRICADING WITH AVAILABLE RESOURCES. ALL SAFETY MEETINGS WILL ADDRESS THESE ISSUES CONSTANTLY. HOT ZONES, SUPPORT ZONES, AS WELL AS CHECK POINTS WILL BE CLEARLY MARKED AND IDENTIFIED. ALTHOUGH THE PROJECT HAS A LIMITED AREA, MEANING THAT THE TRANSITION FROM ONE AREA TO THE NEXT IS RELATIVELY SHORT IT ENHANCES THE NEED FOR SUCH CLEAR DEMARICATIONS.
10.	OTHER SPECIFICS – THE WALL AREAS WILL EXHAUST ITS AIR THROUGH A NEGATIVE AIR MACHINE WITH HEPA WITH A DUCT THAT WILL EXIT ITS FILTERED EXHAUST AIR THROUGH DESIGNATED EXIT. THIS TYPE OF OUTDOOR ENCLOSURE PRESENTS AN IDEAL WAY FOR AIR EXHAUST, BECAUSE THE AIR IS IMMEDIATELY FILTERED BEFORE IT EXITS OUTDOOR WITHOUT ANY AREA BEING OCCUPIED OR IN USE. ALSO, ALL FILTERED WASTEWATERS WILL BE POURED INTO THE NEAREST DRAIN AS APPROVED IN THE SUBMITTED PERMIT.
11.	DECONTAMINATION – THE DECONTAMINATION CHAMBER WILL BE ADJACENT AND WILL COMMUNICATE TO THE WORKING AREA (HOT ZONE) THROUGH A POLY AIRLOCK. THIS WILL BECOME THE TRANSITION ZONE BETWEEN THE HOT ZONE AND SUPPORTING ZONE. THE AREA WILL HAVE DIRTY/EQUIPMENT ROOM, SHOWER CHAMBER TO WASH EMPLOYEES, AND A CLEAN ROOM TO DON STREET CLOTHING. ALL GENERATED WATERS WILL BE FILTERED WITH A TWO-STAGE 5- AND 25-MICRON FILTERING SYSTEM. THIS WATER CAN BE DISCHARGED THROUGH THE SEWER.
12.	GENERATED WASTE – ALL WASTE WILL BE DOUBLE-BAGGED IN 6 MIL LABELED POLY BAGS SEALED WITH A GOOSENECK-TYPE TIGHT WITH DUCT TAPE. THESE BAGS WILL BE TAKEN OUT THROUGH THE DECON UNIT, BEING THE ONLY ENTRANCE AND EXIT TO AND FROM THE BATHROOM. THESE BAGS WILL BE PUT IN WHEELED BUGGY THROUGH THE CORRIDOR UP TO THE CLOSED DUMPSTER PARKED NEAR BUT OUTSIDE THE BUILDING, PREFERABLY IN THE PARKING SPACES ACCESSING THE BASEMENT. NO SAMPLING ANALYSIS IS REQUIRED TO DETERMINE FINAL WASTE SITE. ASBESTOS WASTE IS CONSIDERED NON-HAZARDOUS AND WILL BE TRANSPORTED TO PEÑUELAS VALLEY LANDFILL FOR FINAL DISPOSAL. THIS PROCESS WILL ACCOMPANY BY A DULY APPROVED STATE AND DOT MANIFEST.
13.	FINAL CLEARANCE – THESE TWO ENCLOSURES AS WELL AS OUTSIDE IMMEDIATE AREA WILL BE SAMPLED FOR FINAL CLEARANCE. FOR INDOORS, FINAL CLEARANCE MUST COMPLY WITH .005 FIBERS/CC BY PCM SAMPLING. COMPLIANCE WITH FINAL CLEARANCE WILL ENABLE RB CONSTRUCTION TO CONTINUE WITH RENOVATION ACTIVITIES.
14.	PROJECT DOCUMENTATION – ALL ACTIVITIES DESCRIBED ABOVE WILL BE DOCUMENTED WITH PHOTOGRAPHIC PROGRESS AND FINAL CONDITIONS, ENTRY LOGS, SAFETY MEETINGS AGENDA, SAMPLING DATA AND DAILY LOGS. THIS SERVES AS THE GENERATORS' COMPLIANCE WITH FEDERAL AND STATE REGULATIONS AND WILL FORM PART OF FINAL REPORT.

**NOTE:**  
G.C. MAY USE A SUBSTITUTE PRODUCT AS LONG AS IT IS EQUIVALENT TO & MATCHES THE CHARACTERISTICS OF ALL SPECIFIED PRODUCTS SPECIFIED ON SHEET A-07. G.C. SHALL SUBMIT ALL PROPOSED SUBSTITUTE PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR ORDER.

**IMPORTANT NOTE**  
THE WORD "OWNER" REFERS TO THE OWNER'S REPRESENTATIVE.

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LEAD - BASED PAINT GENERAL NOTES:	
1.	LEAD-BASED COATINGS WERE IDENTIFIED ON SUBSTRATES OF THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL. PROJECT MAY INCLUDE ENCAPSULATION ABATEMENT OF LEAD-BASED PAINT, REMOVAL AND DISPOSAL OF BUILDING MATERIALS COATED WITH LEAD-BASED PAINT, AND DISTURBANCE OF LEAD-BASED PAINT USING LEAD-SAFE WORK PRACTICES.
2.	RELATED PROJECT DOCUMENTS: A. LEAD-BASED PAINT SURVEY REPORT BY ZIMMETRY ENVIRONMENTAL. B. SPECIFICATION SECTION 02 83 19 LEAD BASED PAINT ABATEMENT.
3.	THE CONTRACTOR SHALL BE AWARE OF ALL DIVISION 02 SPECIFICATION REQUIREMENTS.
4.	THE LOCATIONS OF IDENTIFIED LEAD-BASED PAINT ARE PRESENTED ON SURVEY REPORT. ACTUAL REMOVAL LOCATION AND QUANTITIES TO BE REMOVED MAY VARY BASED ON THE PROJECT SCOPE OF WORK. G.C SHALL QUANTITY.
5.	THE CONTRACTOR SHALL BE AWARE OF ALL CONDITIONS OF THE PROJECT AND IS RESPONSIBLE FOR VERIFYING QUANTITIES AND LOCATIONS OF ALL WORK TO BE PERFORMED. FAILURE TO DO SO SHALL NOT RELIEVE THE CONTRACTOR OF ITS OBLIGATION TO FURNISH ALL LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK.
6.	ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE PROJECT DOCUMENTS AND ALL GOVERNING CODES, RULES, AND REGULATIONS. WHERE CONFLICTS OCCUR BETWEEN THE PROJECT DOCUMENTS AND APPLICABLE CODES, RULES, AND REGULATIONS, THE MORE STRINGENT SHALL APPLY.
7.	BEFORE STARTING THE WORKS, THE CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
8.	BEFORE ORDERING, THE ENVIRONMENTAL CONTRACTOR MUST SUBMIT THE MATERIALS THAT THEY PROPOSE TO USE FOR ENCAPSULATION.
9.	ONCE THE CONTRACTOR HAS SUBMITTED HIS WORK PLAN AND APPROVAL OF THE MATERIALS TO BE USED, HE MUST PREPARE A 3' x 3' SAMPLE OF HOW THE FINAL WORK WOULD LOOK LIKE. THE CONTRACTOR MUST BEAR IN MIND THAT WE ARE WORKING ON PROJECTS OF HISTORICAL VALUE AND THEREFORE MUST BE CAREFUL NOT TO CAUSE DAMAGE TO THE INTEGRITY OF THE SUBSTRATE MATERIALS, WHETHER THEY ARE WOOD, METALS OR CEMENTITIOUS MATERIALS.
10.	ACTIVITIES IMPACTING HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO WORK AREA PREPARATION, GROSS REMOVAL ACTIVITIES, CLEANING ACTIVITIES, WASTE REMOVAL, ETC. MAY NEED TO BE PERFORMED DURING 'OFF-HOURS'.
11.	MULTIPLE MOBILIZATIONS MAY BE REQUIRED TO PERFORM THE WORK IDENTIFIED IN THIS PROJECT. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER OR DESIGNATED OWNER'S REPRESENTATIVE.
12.	THE CONTRACTOR MUST MAINTAIN CURRENT LICENSES PURSUANT TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS ASSOCIATED WITH THIS PROJECT.
13.	ALL WORK INCLUDING, BUT NOT LIMITED TO, PHASING, SCHEDULING, AND SEQUENCING SHALL BE COORDINATED WITH THE OWNER AND THE OWNER'S REPRESENTATIVE(S).
14.	OTHER COATINGS WHICH CONTAIN LEAD AT CONCENTRATIONS LOWER THAN THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DEFINITION OF LBP ARE PRESENT WITHIN THE CONTRACT WORK AREAS. THESE COATINGS MAY BE REFERRED TO AS LEAD-CONTAINING PAINT OR PAINT CONTAINING LEAD. DISTURBANCE OF LEAD CONTAINING PAINT CAN RESULT IN LEAD-EXPOSURE TO WORKERS AND OCCUPANTS. REFER TO THE ENVIRONMENTAL SURVEY FOR LEAD-BASED PAINT REPORT BY ANALYTICAL ENVIRONMENTAL SERVICES INTERNATIONAL FOR ADDITIONAL DETAILS ON THE TYPE AND LOCATION OF LEAD-CONTAINING PAINT. DISTURBANCE OF LEAD-CONTAINING PAINT SHALL BE PERFORMED IN ACCORDANCE WITH THE UNITED STATES OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) LEAD IN CONSTRUCTION STANDARD 29 CFR 1926.62 AND ALL OTHER APPLICABLE OSHA HEALTH AND SAFETY REGULATIONS.
LEAD - BASED PAINT ABATEMENT:	
1.	PROJECT DESCRIPTION - A LEAD-BASED STUDY PREPARED FOR THIS PROPERTY BY ZIMMETRY ENVIRONMENTAL INDICATES THAT THE PROPERTY HAS LEAD-BASED PAINT ON MANY ELEMENTS. THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH SUCH STUDY WHICH HAS BEEN INCLUDED IN THE TECHNICAL SPECIFICATIONS OF THE PROJECT.
2.	BACKGROUND -THROUGHOUT THE LAST DECADES THESE BUILDING HAVE BEEN SUBJECTED TO SEVERAL RENOVATIONS AND IMPROVEMENTS. MANY OF THE CONSTRUCTION MATERIALS USED IN THE EARLY PHASES OF CONSTRUCTION ARE LEAD-CONTAINING MATERIALS. SUCH AS CERAMIC, WALL PAINT, BATHROOM APPLIANCES AND OTHERS. TO PROCEED WITH THE INTENDED RENOVATION, THE GC SHALL ABATE THESE MATERIALS FOLLOWING FEDERAL AND STATE GUIDELINES.
3.	PROJECT SAFETY REQUIREMENTS -TO MINIMIZE ANY HAZARD POTENTIAL TO THE HEALTH AND SAFETY OF GENERAL CONTRACTOR, SUBCONTRACTOR AND SITE PERSONNEL, BE IT REGULAR OR INCIDENTAL, AN ON-SITE HEALTH AND SAFETY PROTOCOLS WILL BE ALWAYS REQUIRED.
4.	ALSO, SAFETY MEETINGS ARE A MUST, EITHER AT LEAST ON A WEEKLY BASIS OR WHEN A NEW TASK IS TO BE COMMENCED, AN INCIDENT HAS OCCURRED OR IS SUSPECTED TO OCCUR OR WHENEVER SITE AND WEATHER CONDITIONS MIGHT REQUIRE READDRESSING ANY POTENTIAL HAZARDS. THESE MEETINGS INCLUDE BUT ARE NOT LIMITED TO ESTABLISH SAFETY PROTOCOL, PERSONAL PROTECTIVE EQUIPMENT REQUIREMENTS, PPE'S AVAILABILITY AS WELL AS OPERATING CONDITIONS.
5.	SPECIFIC WORK PLAN AND SPACE LAYOUT FOR ABATEMENT. - LEAD ABATEMENT SHALL FALLS WITHIN NESHP REGULATIONS.
6.	TO ACHIEVE ABATEMENT AND BEFORE STARTING, THE ENVIRONMENTAL SUB-CONTRACTOR MUST SUBMIT TO THE OWNER'S REPRESENTATIVE AND THE A/E, A DETAILED NARRATIVE OF THE STEPS AND METHODS OF THE WHOLE PROCESS THAT WILL BE FOLLOWED FOR THE ABATMENT, TOGETHER WITH IT, A SCHEDULE FOR THE PERFORMANCE OF THE WORK.
7.	LEAD-BASED ABATEMENT PERMIT - THE SPECIFIC WORK PLAN WILL BE PART OF OTHER DOCUMENTATION THAT SHALL BE PRESENTED TO THE PRDNER (PUERTO RICO DEPARTMENT OF NATURAL AND ENVIRONMENTAL RESOURCES) DETAILING ALL THE WORK PRACTICES, AND GUIDELINES THE GC WILL FOLLOW BEFORE, DURING AND AFTER THE PROJECT'S EXECUTION. IT WILL CONTAIN ALL CREDENTIALS OF THE SUPERVISION, LABORS, HYGIENISTS, LABORATORIES, TRANSPORTERS, PROJECT DESIGNERS, AND LANDFILL FACILITIES AS WELL AS A COPY OF THE ENVIRONMENTAL REPORT WITH THE FINDINGS REGARDING THIS PROJECT. THESE WILL BE SUBMITTED ALONG A PERMIT SUBMITTAL FORM FOR DNER'S EVALUATION AND APPROVAL.
8.	COMMUNICATIONS - A HAZARD COMMUNICATION PROGRAM WILL BE IN FORCE DURING THE PROJECT DURATION. SUCH PROGRAM INCLUDES BUT IS NOT LIMITED TO RIGHT TO KNOW ACT, MSDS OF HANDLING SUBSTANCES, LABELING, CLASSIFICATION, RISK ASSESSMENT AND OTHER COMMUNICATION DEEM NECESSARY TO PROVIDE THE WORKER AND ALL ASSOCIATED ENTITIES A CLEAR UNDERSTANDING OF THE RISK INVOLVED AND THE CORRECTIVE ACTIONS IN CASE OF ANY UNFORESEEN INCIDENT.
9.	ALL PROJECT PERSONNEL SHOULD KNOW WHAT THE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS OF THE HANDLED MATERIALS ARE. ANY POSSIBLE REACTIVITY, INFLAMMABILITY, AND EXPLOSIVELY (IF APPLICABLE) SHALL BE PROPERLY ADDRESSED PRIOR TO ANY CONTACT OR HANDLING OF SUCH MATERIALS. THESE HAZARDS COMMUNICATIONS SHALL BE PLACED IN CLEAR VIEW OF ALL INVOLVED PARTIES, EITHER IN A RIGHT TO KNOW STATION OR ON POSTERS STATING THESE RISKS. ALL PERSONNEL TO BE HANDLING THE HARZADOUS MATERIALS HAVE TO BE DULY LICENSED AND EXPERIENCED HANDLING SUCH MATERIALS AS WELL AS UNDERSTANDING ALL POTENTIAL HAZARDS, INCLUDING BUT NOT LIMITED TO WORKING ON OUTDOOR CONDITIONS, HAND SIGNALING, SOUND SIGNALING, AND
10.	VISUAL SIGNALING. THE HOT ZONES MUST BE VISUALLY ISOLATED BY BARRICADING WITH AVAILABLE RESOURCES. ALL SAFETY MEETINGS WILL ADDRESS THESE ISSUES CONSTANTLY. HOT ZONES, SUPPORT ZONES, AS WELL AS CHECK POINTS WILL BE CLEARLY MARKED AND IDENTIFIED. ALTHOUGH THE PROJECT HAS A LIMITED AREA, MEANING THAT THE TRANSITION FROM ONE AREA TO THE NEXT IS RELATIVELY SHORT IT ENHANCES THE NEED FOR SUCH CLEAR DEMARICATIONS.
11.	OTHER SPECIFICS - THE AREAS WILL EXHAUST ITS AIR THROUGH A VACUUM WITH HEPA FILTER THAT WILL STORE ANY DEBRIS WITHIN ITS CANISTER. ALSO, ALL FILTERED WASTEWATERS WILL BE POURED INTO THE NEAREST DRAIN AS APPROVED IN THE SUBMITTED PERMIT.
12.	DECONTAMINATION - THE DECONTAMINATION WILL CONSIST IN WEARING A DOUBLE DISPOSABLE SUIT. WITHIN THE MINI ENCLOSURE THE EMPLOYEE WILL REMOVE OUTER SUIT BEFORE EXITING, A DECON ATTENDANT WILL PROCEED TO VACUUM THE INNER SUIT WHILE THE EMPLOYEE IS STILL WEARING IT. AFTER THAT SUIT IS VACUUMED, THEN THE EMPLOYEE CAN REMOVE THE SUIT AND CONTINUE WITH UNDERNEATH STREET GARMENTS. IF THERE IS ANY GENERATED WATERS IT WILL BE FILTERED WITH A TWO-STAGE 5- AND 25-MICRON FILTERING SYSTEM.
13.	GENERATED WASTE - ALL WASTE WILL BE DOUBLE-BAGGED IN 6 MIL LABELED POLY BAGS SEALED WITH A GOOSENECK-TYPE TIGHT WITH DUCT TAPE. THESE BAGS WILL BE TAKEN OUT THROUGH THE DECON UNIT, BEING THE ONLY ENTRANCE AND EXIT TO AND FROM THE BATHROOM. THESE BAGS WILL BE PUT IN WHEELED BUGGY THROUGH THE CORRIDOR UP TO THE CLOSED DUMPSTER PARKED NEAR BUT OUTSIDE THE BUILDING, PREFERABLY IN THE PARKING SPACES ACCESSING THE BASEMENT. TOLP SAMPLING OF THIS WASTE WILL BE COLLECTED AND ANALYZED TO DETERMINE FINAL WASTE SITE. NORMALLY RESULTS NON-HAZARDOUS AND WILL BE TRANSPORTED TO A LEGAL LANDFILL FOR FINAL DISPOSAL. THIS PROCESS WILL ACCOMPANY BY A DULY APPROVED STATE AND DOT MANIFEST.
14.	FINAL CLEARANCE - THESE AREAS AS WELL AS OUTSIDE IMMEDIATE AREA WILL BE SAMPLED FOR FINAL CLEARANCE. FOR OUTDOORS, FINAL CLEARANCE MUST COMPLY WITH 400 PPM FOR LEAD. COMPLIANCE WITH PARAMETER WILL ENABLE RB CONSTRUCTION TO CONTINUE WITH RENOVATION ACTIVITIES.
15.	PROJECT DOCUMENTATION - ALL ACTIVITIES DESCRIBED ABOVE WILL BE DOCUMENTED WITH PHOTOGRAPHIC PROGRESS AND FINAL CONDITIONS, ENTRY LOGS, SAFETY MEETINGS AGENDA, SAMPLING DATA AND DAILY LOGS. THIS SERVES AS THE GENERATORS' COMPLIANCE WITH FEDERAL AND STATE REGULATIONS AND WILL FORM PART OF FINAL REPORT.

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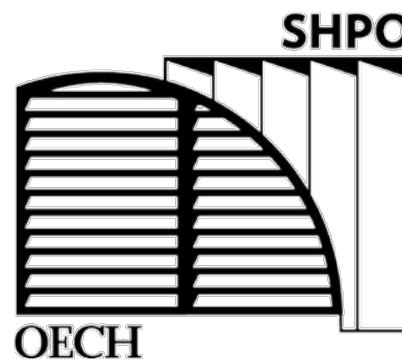
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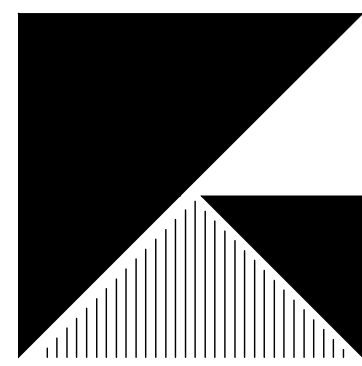
NATIONAL PARK SERVICE



STATE HISTORIC PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

FOREMAN HOUSE  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
Registration No. 11445 PR.



arquiteg  
ARQUITECTOS  
INGENIEROS  
PLANIFICADORES

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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y la disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley para la Inversión por la Industria Puertorriqueña"; con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique). Reconozco que cualquier destrucción, falsificación o modificación de los hechos que se haya producido por desconocimiento o por negligencia por sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la OSPA.

PROFESSIONAL TEAM:

Victor M. Villegas  
Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

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Drawn by	Reviewed by
GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

A-07.1

LEAD BASED PAINT ABATEMENT NOT

ISSUE FOR BIDDING  
NOT FOR CONSTRUCTION

BY: V.M.V. DATE:JUNE 29, 2023

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A

Simpson Strong-Tie® Wood Construction Connectors

## H/TSP

### Seismic and Hurricane Ties

Simpson Strong-Tie hurricane ties provide a positive connection between truss/rafter and the wall of the structure to resist wind and seismic forces.

**Material:** See table

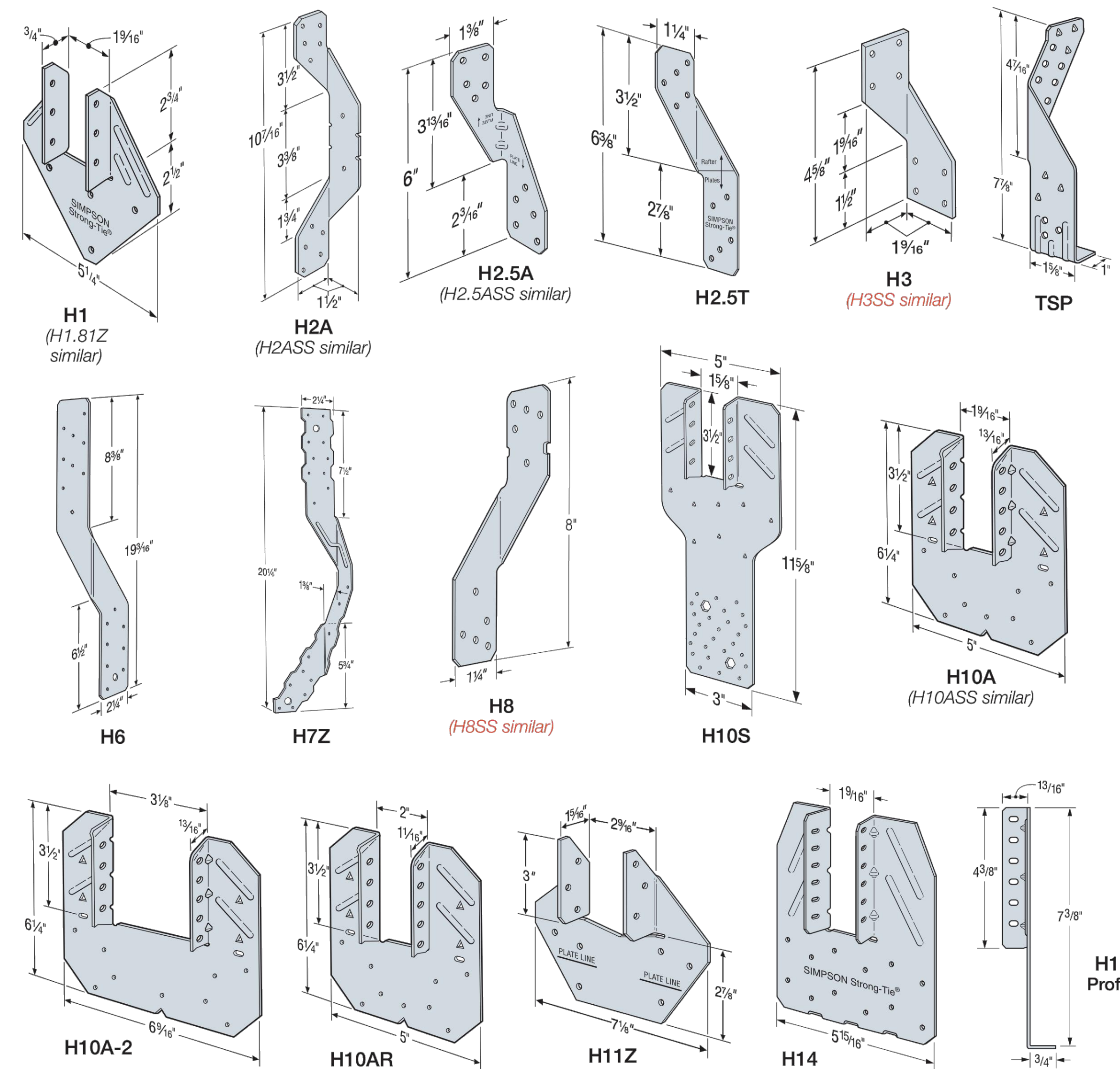
**Finish:** Galvanized. H1.81Z, H7Z and H11Z — ZMAX® coating. Some models available in stainless steel or ZMAX; see Corrosion Information, pp. 12–15 or visit [strongtie.com](http://strongtie.com).

**Installation:**

- Use all specified fasteners; see General Notes.
- Hurricane ties can be installed with flanges facing inward or outward.

- H2.5T, H3 and H6 ties are shipped in equal quantities of right and left versions (right versions shown).
- Hurricane ties do not replace solid blocking.
- When installing ties on plated trusses (on the side opposite the truss plate) do not fasten through the truss plate from behind. This can force the truss plate off of the truss and compromise truss performance.
- H10A optional nailing to connect shear blocking, use 0.131" x 2½" nails. Slots allow maximum field bending up to a pitch of 6:12, use H10A sloped loads for field-bent installation.

**Codes:** See p. 11 for Code Reference Key Chart



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Simpson Strong-Tie® Wood Construction Connectors

## H/TSP

### Seismic and Hurricane Ties

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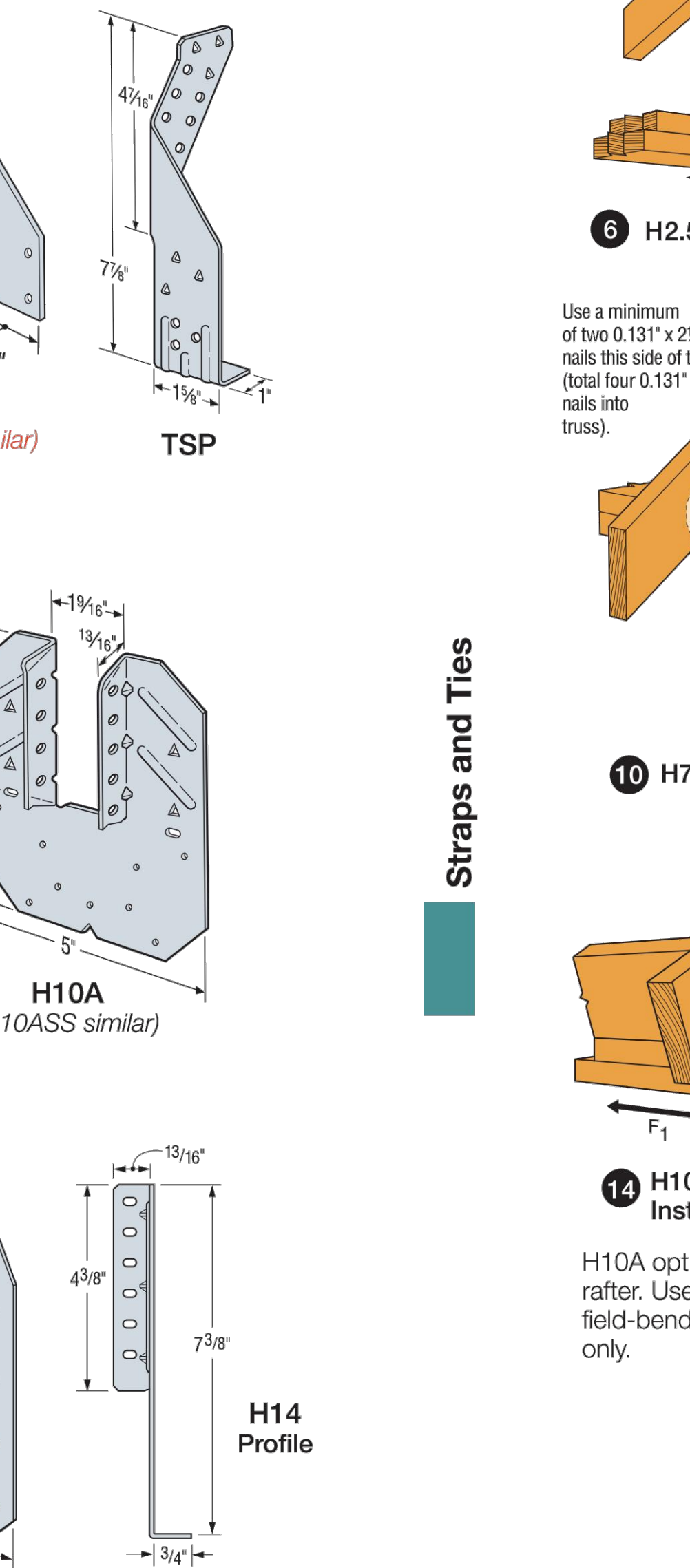
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**Installation:**

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- H10A optional nailing to connect shear blocking, use 0.131" x 2½" nails. Slots allow maximum field bending up to a pitch of 6:12, use H10A sloped loads for field-bent installation.

**Codes:** See p. 11 for Code Reference Key Chart



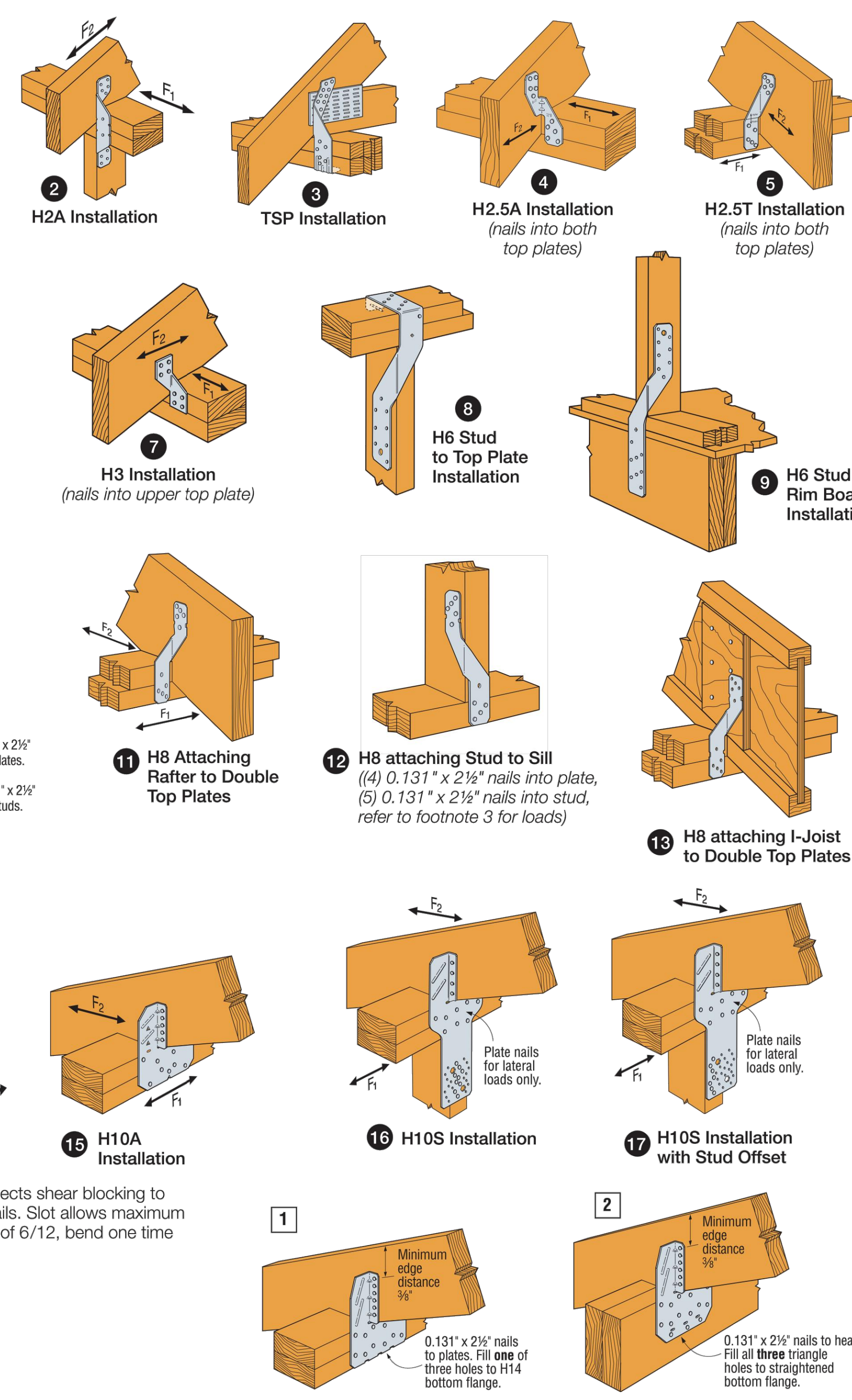
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Simpson Strong-Tie® Wood Construction Connectors

## H/TSP

### Seismic and Hurricane Ties (cont.)



Use a minimum of two 0.131" x 2½" nails this side of truss (total four 0.131" x 2½" nails into truss).

Two 0.131" x 2½" nails into plates.

Eight 0.131" x 2½" nails into studs.

#### PRODUCT SPECIFICATION NOTE:

FOR ALL SPECIFIED PRODUCTS IN THIS DRAWING SET, AN EQUIVALENT PRODUCT IS ALLOWED AS LONG AS IT IS ACCEPTED BY THE PROJECT ARCHITECT THROUGH A SUBMITTAL.

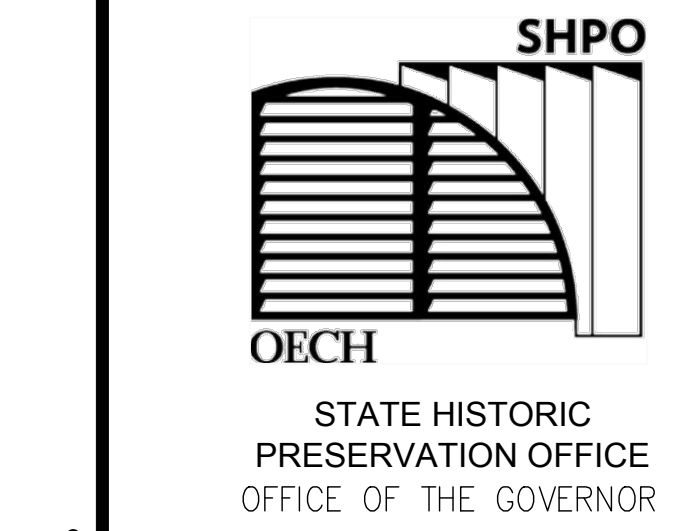
**SIMPSON Strong-Tie**

#### IMPORTANT NOTE:

G.C. MUST INSTALL REINFORCEMENTS EQUIVALENT TO THOSE ILLUSTRATED ABOVE IN ALL JOINTS OF THE WOODEN ROOF BEAMS. THE CONTRACTOR MUST USE THE MOST APPROPRIATE TYPE OF TIE RECOMMENDED BY THE MANUFACTURER FOR EACH CONDITION. G.C MUST SUBMIT PHOTOS OF WHAT IS INSTALLED WHEN SUBMITTING THE CERTIFICATION OF PAYMENT.

C-C-2021 © 2021 SIMPSON STRONG-TIE COMPANY INC.

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**FOREMAN HOUSE**  
AJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
Registration No. 11445 PR.



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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que soy el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen con las disposiciones aplicables del Reglamento Conjunto y la disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 3 de enero de 2004, según enmendada, conocida como la "Ley para la Inversión por la Industria Puertorriqueña" con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique. Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia yo soy por mí, mis agentes o empleados, o por otras personas con mi conocimiento, me hacen responsable de cualquier acción judicial y disciplinaria por la ODE.

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#### PROFESSIONAL TEAM:

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Laurie S. Rivera

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Drawn by  
GM | EM | CB | LR

Reviewed by  
VV

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SHEET TITLE AND NUMBER:

**A-08**

WOOD CONECTORS

**ISSUE FOR BIDDING**  
**NOT FOR CONSTRUCTION**

BY: V.M.V. DATE: JUNE 29, 2023

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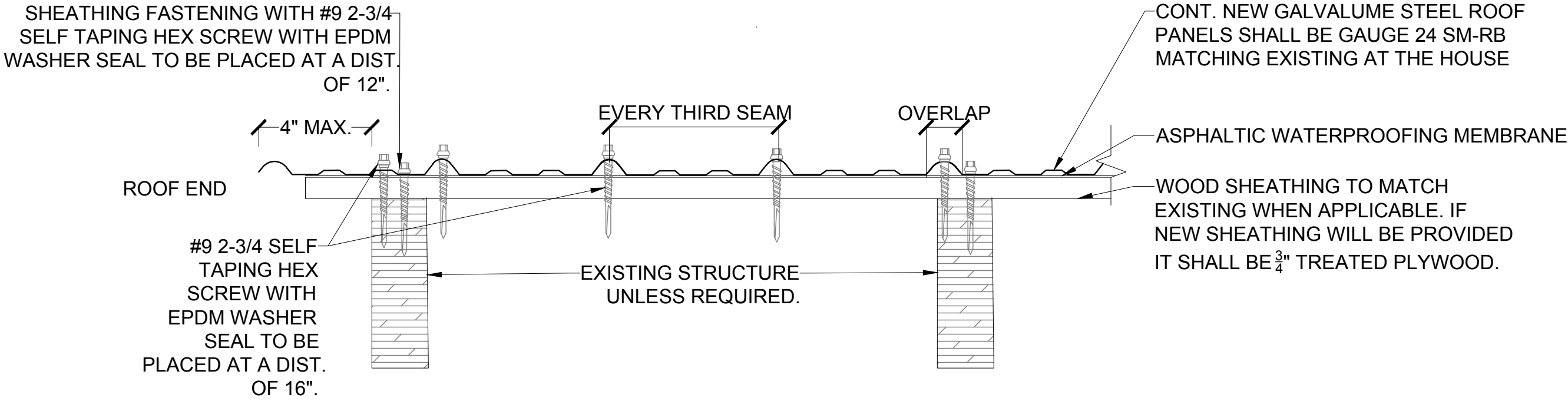
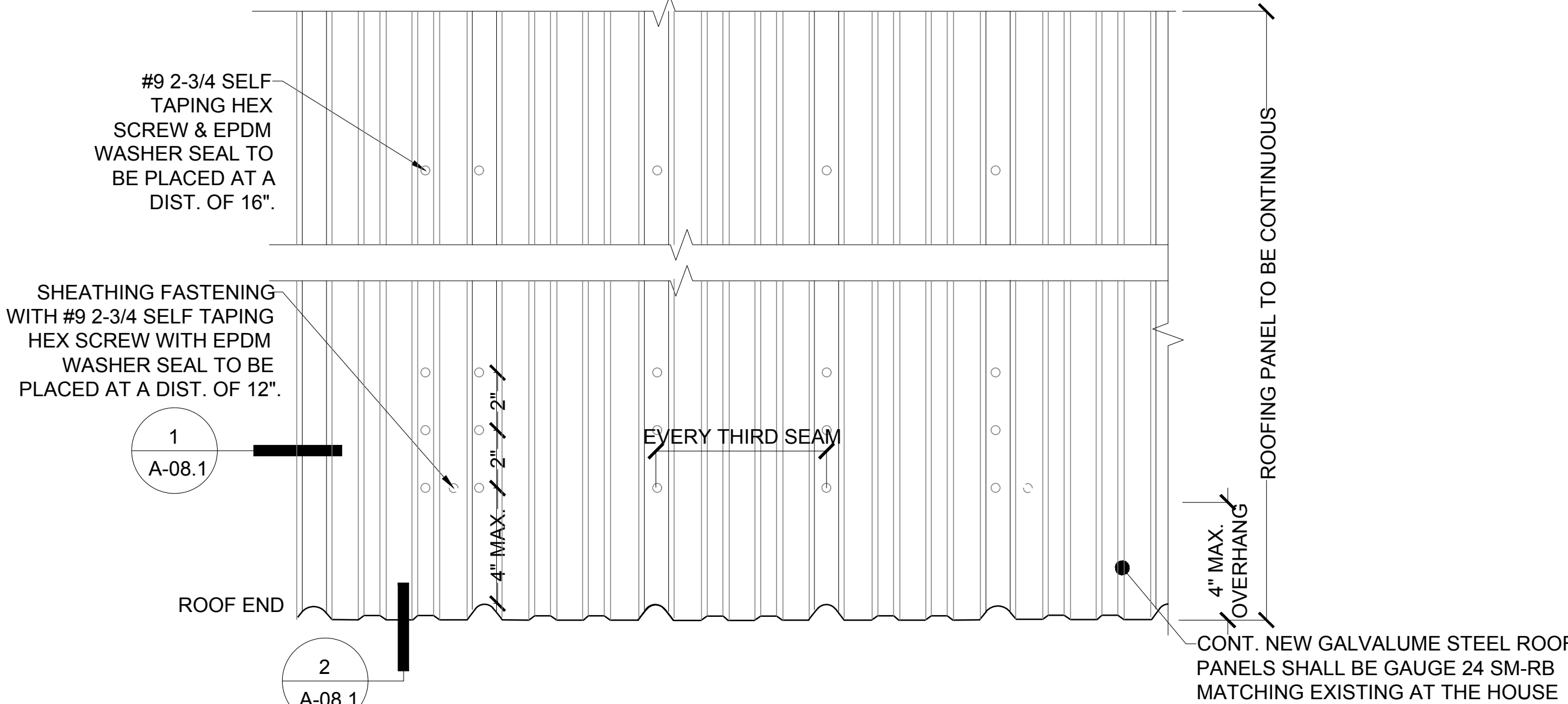
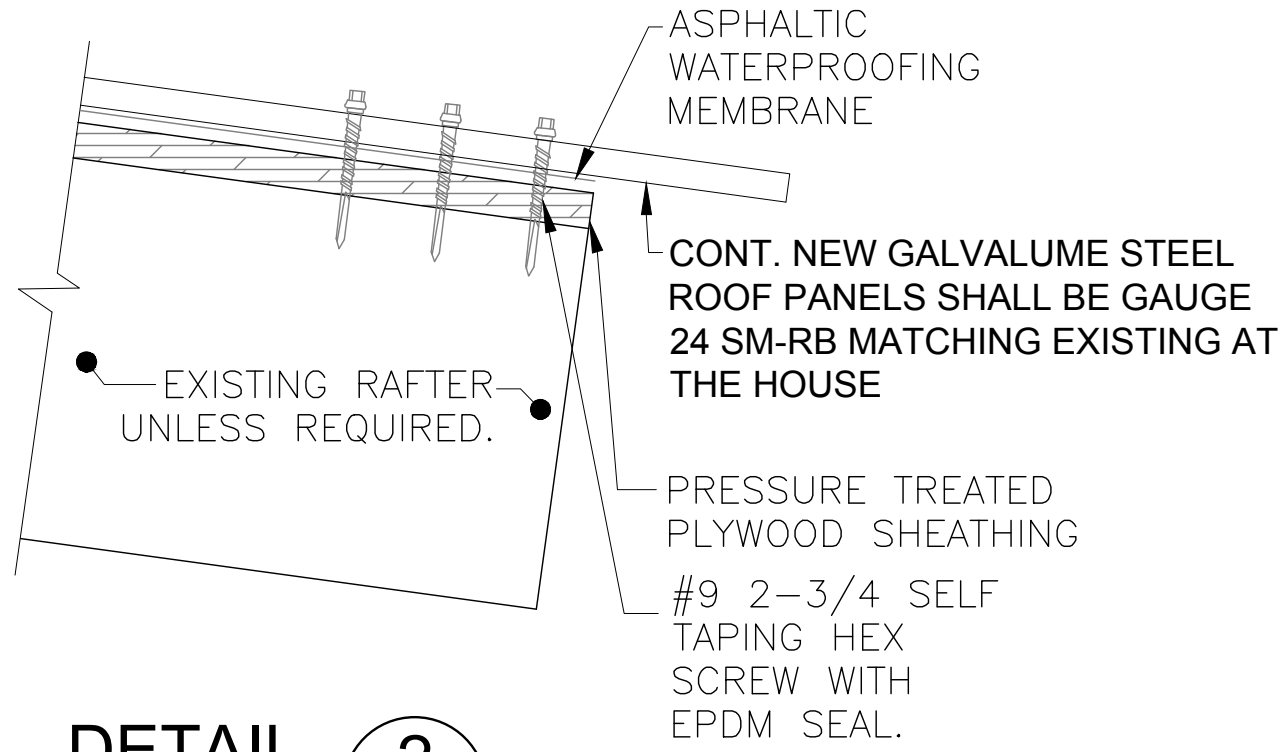
C  
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D  
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E  
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**NOTE:**  
G.C. SHALL FASTEN THE PLYWOOD PANELS TO THE RAFTERS USING S.S. NAILS PRIOR TO INSTALLING THE METAL ROOF.

**IMPORTANT NOTE:**  
G.C. SHALL BE RESPONSIBLE FOR USING THE SCREWS AS INSTRUCTED IN THE TYPICAL ROOFING PLAN.

A  
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B  
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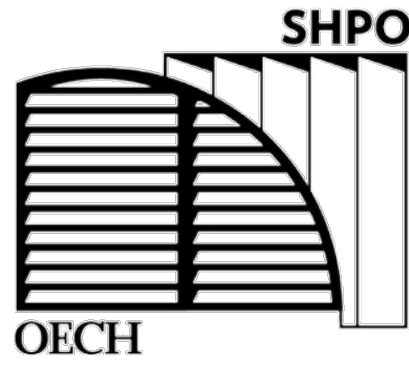
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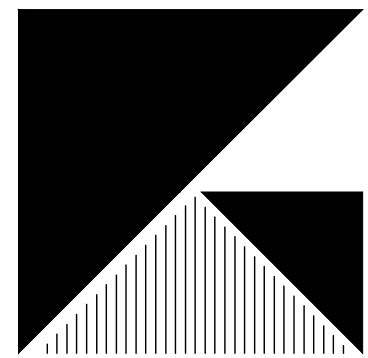
NATIONAL PARK SERVICE



STATE HISTORIC  
PRESERVATION OFFICE  
OFFICE OF THE GOVERNOR

FOREMAN HOUSE  
ADJUNTAS, PUERTO RICO

Architect of Record:  
Victor M Villegas, A.I.A  
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Yo, Victor M. Villegas Durán, Lic. #11445, certifico que se el profesional que diseñó estos planos y las especificaciones complementarias. También, certifico que entiendo que dichos planos y especificaciones cumplen cc las disposiciones aplicables del Reglamento Conjunto y la disposiciones aplicables de los Reglamentos y Códigos de Construcción Vigentes de las Agencias, Juntas Reglamentadoras o Corporaciones Públicas con Jurisdicción Certifico, además, que en la preparación de estos planos y especificaciones se ha cumplido cabalmente con lo dispuesto en la Ley Núm. 14 de 8 de enero de 2004, según enmendada, conocida como la "Ley para la Inversión por la Industria Puertorriqueña" con la Ley Núm. 319 de 15 de mayo de 1938, según enmendada; Ley Núm. 96 de 6 de julio de 1978, según enmendada; según aplique). Reconozco que cualquier declaración falsa o falsificación de los hechos que se haya producido por desconocimiento o por negligencia ya sea por mí, mis agentes o empleados, o por otras personas con mi conocimiento, o hacen responsable de cualquier acción judicial y disciplinaria por la ODR.

PROFESSIONAL TEAM:

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Cristina Ballester  
Gilberto Mendoza  
Elvin E. Melendez  
Laurie S. Rivera

No.	Issue	Date
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Drawn by	Reviewed by
GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

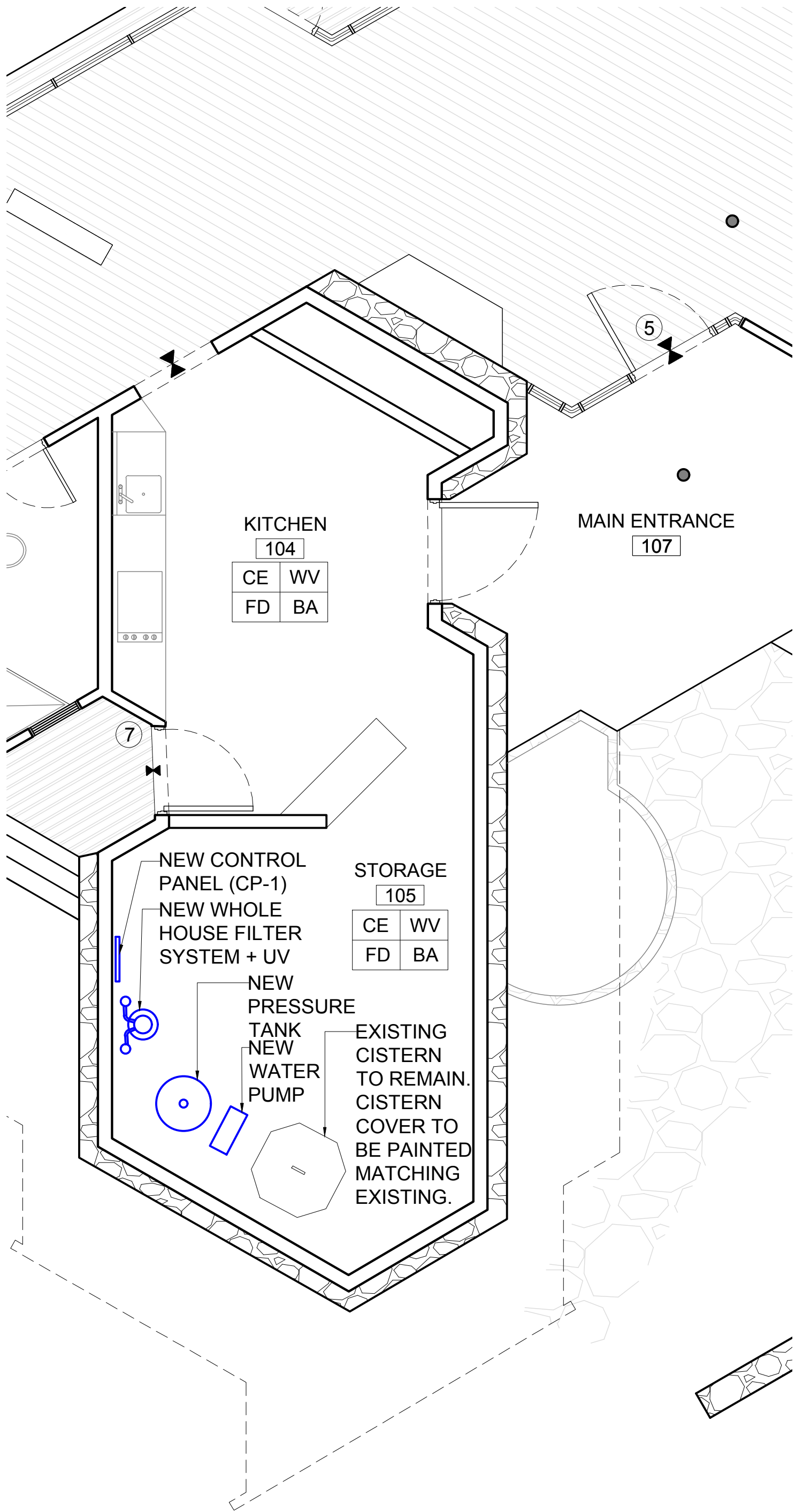
A-08.1

ROOF SCREW REINF. DETAIL

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NOT FOR CONSTRUCTION

BY: V.M.V. DATE: JUNE 29, 2023





### CISTERN LOCATION

scale: N.T.S (if printed on 24"x36")

NOTE:  
ELEMENTS SHOWN IN BLUE SHALL  
BE NEW. SEE SPECS.

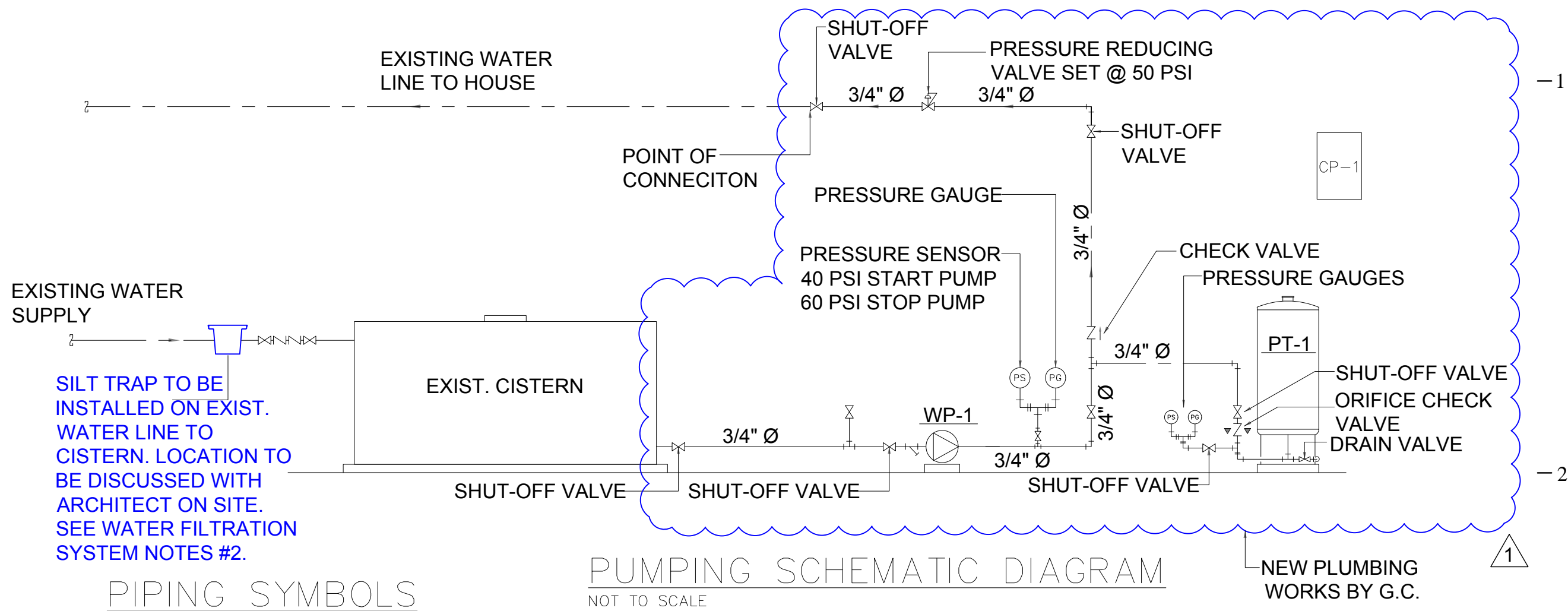
### PLUMBING NOTES

1. THESE NOTES AS WELL AS THE LEGEND AND DETAILS APPLIES TO ALL PLUMBING WORK.
2. WATER PIPING BELOW GRADE TO BE TYPE "K" COPPER AND WATER PIPING ABOVE GRADE TO BE TYPE "L" HARD DRAWN COPPER. SIZE IS AS INDICATED DRAWINGS.
3. SOLDER USED IN ANY POTABE OR DOMESTIC WATER SYSTEM MUST BE LEAD-FREE.
4. ALL WATER SUPPLY LINES ARE TO BE SEPARATED A MINIMUM OF 1'-0" FROM SANITARY LINES.
5. ALL WASTE, SANITARY AND STORM DRAINAGE LINES 4" IN DIAMETER AND LARGED SHALL BE PVC SDR 35 AND SCHEDULE 40 FOR 3" AND SMALLIER.
6. LONG SWEEP BENDS OR LONG SWEEP FITTINGS SHALL BE PROVIDED AT THE BASE OF ALL STACKS.
7. FIXTURES, FITTINGS, ACCESSORIES, MATERIALS AND ALL PLUMBING PRODUCTS SHALL BE AS PER SPECIFICATIONS ON THESE DRAWINGS. EQUAL OR SIMILAR SHALL BE ONLY ACCEPTED IF PREVIOUSLY APPROVED BY THE ARCHITECT/ENGINEER.
8. ALL FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER SPECIFICATIONS.
9. THE PLUMBING WORK SHAUL BE IN ACCORDANCE WITH THE LATEST LOCAL BUILDING CODE, THE INTERNATIONAL PLUMBING CODE, THE HEALTH DEPARTMENT AND THE SPECIFICATIONS ISSUED FOR THE PROJECT.
10. SIZES SHOWN IN FIXTURE SCHEDULE ARE MINIMUM AND SHALL BE INCREASED AS NECESSARY TO COMPLY WITH CODE REQUIREMENTS OR AS SHOWN ON DRAWINGS.
11. BEFORE STARTING CONSTRUCTION, THE PLUMBING CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATIONS OF EXISTING PIPE LINES TO REMAIN IN USE. ANY SIGNIFICANT DISCREPANCY WITH THE INFORMATION SHOWN ON THESE DRAWINGS SHALL BE NOTIFIED TO THE ARCHITECT/ENGINEER FOR REVISION.
12. PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY SERVICES AND/OR CONNECTIONS REQUIRED FOR THE PLUMBING FIXTURES AND EQUIPMENT SHOWN ON PLANS AND FIXTURES SCHEDULE.
13. PLUMBING CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGHING-IN AND INSTALL THE PLUMBING FIXTURES AS INDICATED ON THESE DRAWINGS.
14. THE PROPOSED WATER DISTRIBUTION SYSTEM MUST BE TESTED TO A HYDROSTATIC PRESSURE OF 125 PSI AND PROVED TIGHT AT THIS PRESSURE FOR FOUR CONSECUTIVE HOURS BEFORE PIPES ARE CONCEALED AND PRIOR TO ANY FIXTURE INSTALATION.
15. OTHER QUALIFIED MANUFACTURERS' PRODUCTS CAN BE SUBMITTED FOR APPROVAL TO THE ARCHITECT OR ENGINEER ALONG WITH A COMPARATIVE TABLE SHOWING CHARACTERISTICS OF THE SPECIFIED AND PROPOSED PRODUCT.
16. G.C. SHALL REMOVE ALL WATER FROM CISTERN, CLEAN EMPTY TANK WITH PRESSURE WATER. AFTER CLEANING WITH PRESSURED WATER, APPLY CLOROX & ENSURE NO MOLD TO REMAIN. PRIOR TO REFILLING WITH WATER, G.C. SHALL INSPECT TANK FOR CONCRETE FISSURED THAT COULD LEAD TO WATER FILTRATIONS. IF RELEVANT FISSURES ARE FOUND, G.C. SHALL REPAIR PRIOR TO REFILLING TANK WITH POTABLE WATER.
17. G.C. SHALL SUBMIT DRAWINGS SHOWING NEW EQUIPMENT LOCATIONS AND INSTALLATION DETAILS FOR ARCHITECT REVIEW PRIOR TO COMMENCING THE WORK.
18. G.C. SHALL BE RESPONSIBLE FOR ELECTRIFYING THE WATER PUMP.

### WATER FILTRATION SYSTEM

CONTRACTOR SHALL FURNISH & INSTALL THE FOLLOWING EQUIPMENT (OR EQUIVALENT): (LOCATION OF EQUIPMENT TO BE DISCUSSED WITH ARCHITECT ON SITE.)

1. PENTAIR WATER SOLUTIONS WHOLE HOUSE WATER FILTER SYSTEM + UV: PC1000-PUV-14-P, OR EQUIVALENT. A LICENSED PLUMBING CONTRACTOR SHALL INSTALL THIS EQUIPMENT AS PER MANUF. SPECIFICATIONS.
2. PT600 CLASS D / 28"x28" MDPE SILT TRAP / FOX MDPE SILT BASKET / (2) 4" PIPE OUTLETS & CLASS D HEAVY DUTY GALV. GRATE BY FOX ENVIRONMENTAL SYSTEMS, OR EQUIVALENT.



### PIPING SYMBOLS

- DIRECTION OF FLOW
- X— GATE VALVE

### PIPING TYPES

- - — COLD WATER PIPE

### PUMPING SCHEMATIC DIAGRAM

NOT TO SCALE

### CISTERN & PUMP NOTES

1. CONTRACTOR SHALL FURNISH & INSTALL THE FOLLOWING EQUIPMENT (OR EQUAL). (EQUIPMENT BY: UNIVERSAL EQUIPMENT SALES & SERVICE CORP.)
  - PT-1. PRESSURE TANK -AMERICAN WATER HEATER EXPORT PUMP TANKS - MODEL ADX-86, 86 GAL. CAP. PRESSURIZED TANK.
  - WP-1. WATER PUMP -WAYNE MODEL: SWS100, 1HP / SHALLOW WELL JET PUMP / CORROSION RESISTANT ALL CAST IRON MOTOR HOUSING.
  - CP-1 SIMPLEX DOMESTIC CONTROL PANEL FOR 1 H.P. PUMPS, NEMA 4 ENCLOSURE, 1/60/240 VOLTS INCLUDING 120 VOLTS CONTROL AND MAGNETIC STARTERS WITH-OVERLOAD PROTECTION, H-O-A SELECTOR SWITCHES, PILOT & RUNNING LIGHTS, I AUTO ALTERNATION, HIGH LEVEL ALARM AND LOW WATER CUTOFF WITH LIGHT AND HORN. AT 1st LEVEL GARAGE CLOSET.
3. CONTRACTOR SHALL PROVIDE ALL NECESSARY ISOLATION VALVES, PRESSURE INDICATORS, PRESSURE REGULATORS, FLOAT VALVES, CHECK VALVES, LEVEL AND PRESSURE SENSORS AS REQUIRED FOR THE PROPER OPERATION OF THE SYSTEM.
  - 2 3/4" CHECK VALVE
  - 1 FLOMATIC 2" "Y" STRAINER WITH SS PERF. SCREEN
  - 2 3/4"DIA. RUBBER FLEXIBLE CONNECTION SCREW TYPE

### PIPING SPECIFICATIONS:

SERVICE	LOCATION	P.V.C. TYPE SDR-35 A.S.T.M. 3034	P.V.C. D.W.V. SCH. 40 A.S.T.M.-D-2665	COPPER PIPE TYPE "K" A.S.T.M.-B-88-60a	GALVANIZED PIPE SCH. 40 A.S.T.M. -A- 120	COPPER PIPE TYPE "L" A.S.T.M. -B- 88-51
WATER	ABOVE GROUND					●
	THRU CONCRETE SLAB					●

#### EQUIPMENT NOTE

G.C. SHALL REMOVE AND DISPOSE OF ALL EXISTING EQUIPMENT THAT IS TO BE REPLACED WITH NEW.

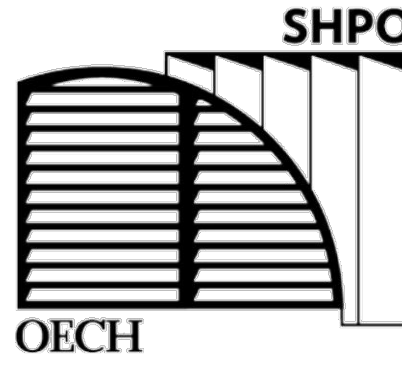
#### ALTERNATE E

G.C. SHALL RESTORE EXISTING CISTERN AND REPLACE FRESHWATER SYSTEM ACCORDING TO SPECIFICATIONS ON SHEET P-01. WORKS SHALL INCLUDE, BUT ARE NOT LIMITED TO, CLEANING AND PAINTING PUMP ROOM, AS WELL AS CLEANING THE CISTERN.

NOTE:  
ALL DIMENSIONS MUST BE VERIFIED ON SITE.  
EXACT LOCATION TO BE VERIFIED ON SITE.



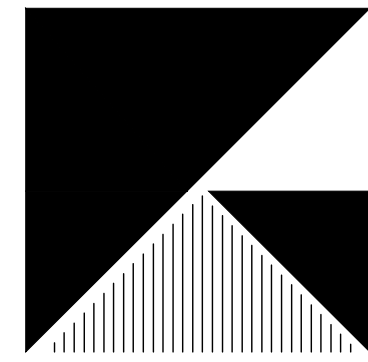
NATIONAL PARK SERVICE



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No.	Issue	Date
1	NEW SHEET	06/29/23

Drawn by	Reviewed by
GM   EM   CB   LR	VV

SHEET TITLE AND NUMBER:

P - 01

FRESHWATER SYSTEM DETAILS

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BY: V.M.V. DATE: JUNE 29, 2023